

PERMITGRAM

VOLUME 3

A CITY OF MOBILE PRODUCTION
JUNE/JULY/AUGUST 2004

ISSUE 4

Historic District Overlay (HDO)

by FRANK PALOMBO

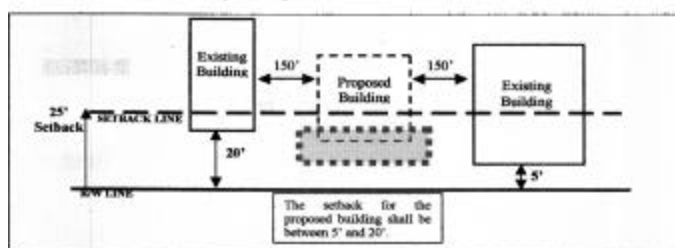
The City of Mobile has worked vigorously to protect and enhance its historic resources. Through the enactment of the historic preservation maintenance ordinance and minimum housing codes, many of the City's historically significant properties have been restored and maintained. However, vacant structures and underutilized land within the Historic Districts remain. To encourage more development the Historic District Overlay (HDO) has been formulated to promote and encourage development within the Historic Districts and other identified areas.

The purpose of the HDO is to establish flexible land development requirements that preserve and maintain the existing character of historically significant areas through site development standards that: 1) allow compatible or similar development within the identified areas; and 2) simplify and streamline the site plan review and approval process by reducing the necessity for variances and waivers. The site design elements addressed by the HDO deal specifically with guidelines formulated for the "building envelope" (i.e. setbacks, site coverage, and building height requirements) for all zoning classifications, with the exception of properties zoned LB-2, B-2 and B-3. Future evaluation will be conducted to address the application of site development standards for properties zoned LB-2, B-2 and B-3.

The regulations and criteria set forth are applicable to the geographic areas defined in the Historic District Overlay Boundary (HDOB) with respect to specific site development requirements. However, the underlying zoning standards regulating the use of the land remain applicable. (e.g. all regulations for permitted land uses, trees, landscaping, parking, buffers, etc. will remain in place as outlined in their respective ordinances)

Following are requirements for structures located in the HDOB: If there are no existing buildings within 150 feet of the proposed development, then the building envelope criteria may be determined using the dimensions and placement of the buildings on the next adjoining block.

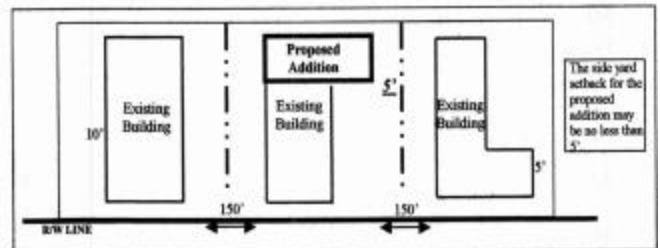
Front Yard Setback Example (Diagram 1).



Front yard setback: The front yard setback shall be no greater or lesser than the setback of those structures on the same side of the street within 150 feet of both sides (exclusive of the right-of-way) of the proposed building site. (See diagram 1)

Side yard setback (each side): The side yard setback may be no less than the side yards of those structures on the same side of the street within 150 feet of both sides (exclusive of right-of-way) of the proposed building site. In the case of an addition to an existing structure, the addition may be in line with the existing building. Side yard setback on side streets may be no less than the side yard setback of the other corner lots, along the same side street, at the same intersection. If there is no structure by which to measure, then the setback requirements of Section 64-4-D4 shall apply. (See diagram 2)

Side Yard Setback Example (Diagram 2)



Rear yard setback: The rear yard setback may be no less than the rear yards of those structures on the same side of the street within 150 feet of both sides (exclusive of right-of-way) of the proposed building. In the case of an addition to an existing structure, the addition may be in line with the existing building. If a side or rear setback is less than 5 feet from the property line, gutters and downspouts shall be provided.

Maximum Building Coverage: The Maximum Building Site Coverage by all buildings shall not exceed 50 percent excluding lots zoned R-B, B-4, I-1 and I-2. In cases of commercial development, the maximum coverage allowed does not override the requirement of other development regulations (i.e. provision of trees, landscaping, parking, buffers, etc.).

Building Height: Building height shall be no higher than the highest building on the same side of the street within 150 feet of both sides (exclusive of right-of-way) of the proposed building site excluding lots zoned B-4, I-1 and I-2.

TYD-BYTS FROM THE PERMITTING COUNTERS

By Cubby Sellers

PLAN REVIEW APPROVALS

MAY/JUNE/JULY 2004

The Mobile City Council has approved adoption of the 2003 Editions of the International Existing Building Code and the International Fire Code with amendments. One of those amendments includes an increase in the plan review fee that will go into effect on August 1, 2004. The complete ordinance can be viewed on the City's web site under Municipal Code, Chapter 22 Fire Prevention. Visit the Mobile Fire-Rescue Department's Bureau of Fire Prevention updated web page at www.cityofmobile.org.

The Bureau is multi-dimensional handling such diverse issues as education, code violations and complaints, business inspections, as well as plan review for new construction and renovations to existing buildings. When a fire occurs, the Bureau is there to investigate its origins and, if necessary, develops a case to assist in prosecution of the crime. In its fire prevention duties, the Bureau will inspect local businesses and daycares within the City limits at no charge. Inspections must be scheduled 24 hours in advance.

Criteria for approved fire alarm, sprinkler and suppression system companies are on the web site. However, you'll have to call the office at 251.208.7484 for the names of companies approved to work on fire alarm systems, fire sprinkler systems, fire extinguishers and extinguishing systems, and flammable and combustible liquid storage tanks.

TYPE	BUILDING	MECHANICAL	ELECTRICAL	PLUMBING	LAND USE	ENGINEERING	FIRE RESCUE	FORESTRY	RIGHT-OF-WAY	TRAFFIC	HISTORIC
#OF PLAN REVIEWS	150	128	100	89	118	35	73	58	36	50	4
AVERAGE DAYS	4	4	4	4	2	6	9	4	5	6	11
# PASSED	96	86	63	53	98	30	28	44	22	44	4
% PASSED	64	67	63	60	83	86	38	76	61	88	100

PermitGram**City of Mobile****P.O. Box 1827****Mobile, AL 36633-1827****PermitGram Staff***Anne Crutcher, Editor**Roger Bendolph**Carl Broadhead**John Crawford**David Daughenbaugh**Frank Palombo**Cubby Sellers***DID YOU KNOW?**

Handrails are required on steps or stairs with two or more risers. Handrails shall have a minimum and maximum height of 34 inches and 38 inches respectively. Handrails shall be provided on at least one side of steps. Handrail grip size shall have a circular cross section of 1 1/4 inches minimum to 2 5/8 maximum. Other shapes that provide an equivalent grasping surface are permissible.

Guardrails are required for porches, balconies or raised floor surfaces that are located more than 30 inches above the floor or finished grade below. Guardrails shall be at least 36 inches in height and have intermediate rails or ornamental closures that do not allow passage of a sphere 4 inches in diameter. Guardrails shall not have horizontal rails that result in a ladder.