

ROBERT ALSTON SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance.

The plat illustrates the proposed 2.0± acre, two lot subdivision which is located at 7123 Smith Street (East side of Smith Street, 160'± South of Stegall Street), and is within the planning jurisdiction. The subdivision is served by city water and sanitary facilities.

The site exists as a metes and bounds parcel that appears to have been created in the mid 1940's, and thus would be considered a parcel of record. The purpose of the subdivision is to create two lots of record from the existing parcel of record.

Smith Street has an existing right-of-way of 40', which is substandard for a minor residential street. Therefore dedication sufficient to provide a minimum of 30' from centerline should be required, if approved.

The configuration of proposed lot 1 is unique in that it is in essence a reverse flag lot (wider along the street frontage, with a narrow flag pole strip extending to the rear, beyond the flag. While unusual or irregularly shaped lots may not be uncommon in the general area, it appears that the sole purpose for the configuration as proposed is to meet the minimum square footage requirements. The plat denotes Lot 1 as containing 7207 square feet. However, based on rough calculation using the illustrated dimensions, it falls short of the minimum 7,200 square feet required by the Subdivision Regulations, albeit only 20± square feet.

Furthermore, with dedication as required for Smith Drive, Lot 1 will be substantially below the minimum square footage requirements; and, given the size of the "flag portion", the buildable area of the lot after the setback line is shown would only be 26.92' deep.

The plat is recommended for denial for the following reasons:

1. as proposed, lot 1 does not meet the minimum square footage requirements of the Subdivision Regulations;
2. after dedication to meet minimum right-of-way requirements, proposed lot 1 would be approximately 6500 square feet;
3. there would be inadequate buildable area on Lot 1 after the minimum building setback line is shown on the plat.

Revised for the May 3rd Meeting

At the April 19th meeting the applicant requested that instead of denial, this application be heldover to allow corrections which would meet the minimum requirements of the Subdivision Regulations. The application was heldover to the May 3rd meeting.

The applicant has submitted a revised plat that illustrates the required dedication along Smith Street (providing 30' from centerline), as well as increasing the lot size of Lot 1 to 17,030 sq.ft.,

which exceeds the minimum square footage requirements and provides more than adequate buildable area. However, the dedication is noted as dedicated to the City of Mobile, while it should have been dedicated to Mobile County. This can be easily remedied prior to approval of the final plat, if approved.

This site is located in Mobile County, thus a note should be placed on the final plat stating that any lots which are developed commercially (or multi-family residential) and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

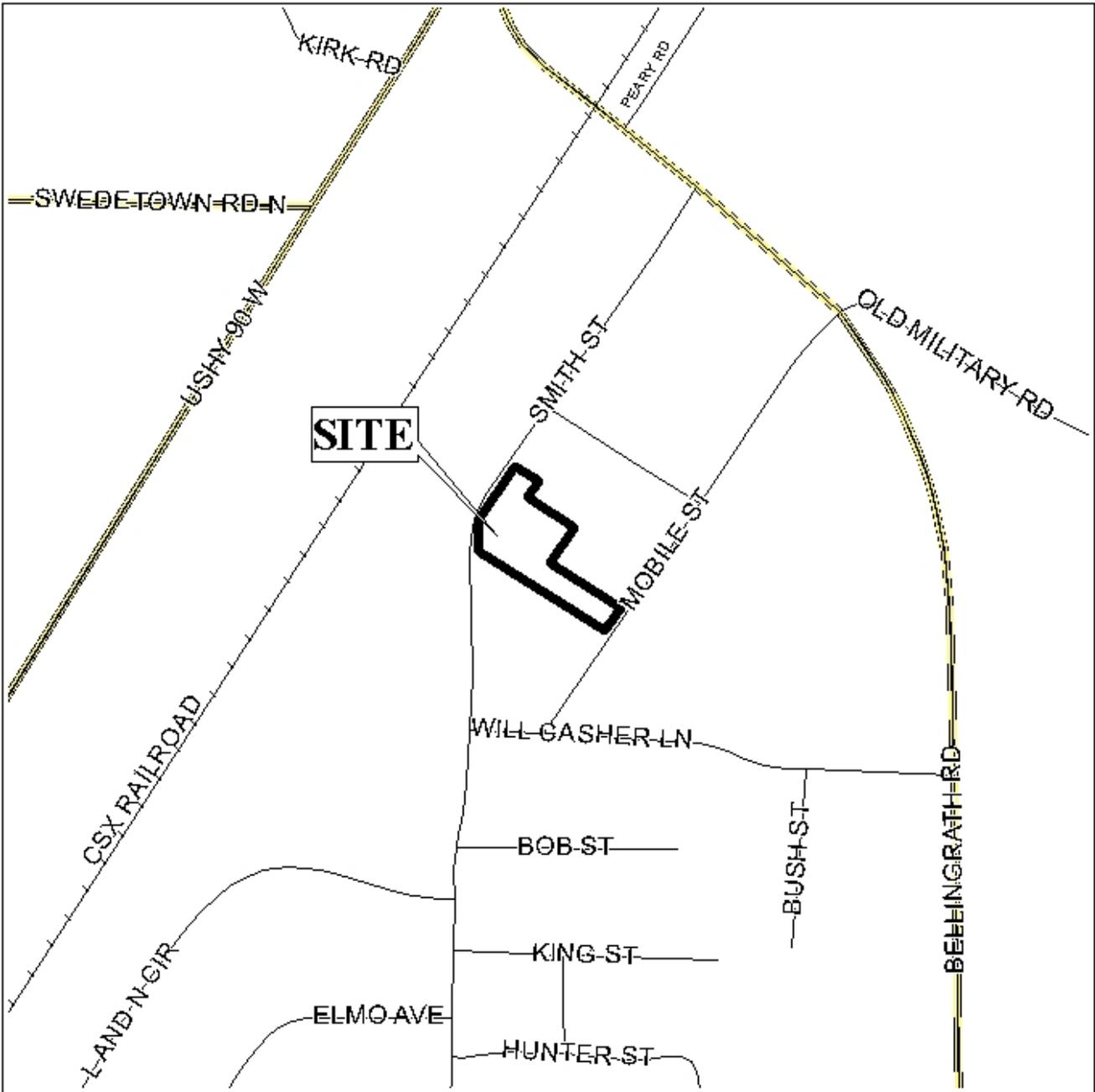
While the site is in the County, the applicant's engineer will be required to certify that the stormwater detention, drainage facilities, and release rate comply with the City of Mobile stormwater and flood control ordinances, prior to the issuance of any permits, if approved.

As the site is located on a curve, there is some concern about visibility and access. Therefore, each lot should be limited to one curb cut, with the size, location and design to be approved by the County Engineering Department.

Based on the preceding, the plat meeting the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions:

- 1) correction of labeling of the dedication to "10 feet dedicated to Mobile County";*
- 2) placement of a note on the final plat stating that any lots which are developed commercially (or multi-family residential) and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations*
- 3) placement of a note on the final plat stating that a letter of certification by an licensed engineer to certify that the stormwater detention, drainage facilities, and release rate comply with the City of Mobile stormwater and flood control ordinances, will be provided to the Mobile County Engineering Department and the Planning Section, Urban Development Department, City of Mobile, prior to the issuance of any permits;*
- 4) placement of a note on the final plat stating that each lot be limited to one curb cut, with the size, location and design to be approved by the County Engineering Department.*

LOCATOR MAP



APPLICATION NUMBER 9 DATE April 5, 2007

APPLICANT Robert Alston Subdivision

REQUEST Subdivision



NTS

ROBERT ALSTON SUBDIVISION



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