

CHRISTOPHER NIGZHEL PLACE SUBDIVISION

Engineering Comments: Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate. Shall comply with Section 508.5.1 of the 2003 IFC.

The plat illustrates the proposed 2.3 acre \pm , 3 lot subdivision which is located on the North side of Gill Road, 380'+ East of Center Road, and is in Council District 4. The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is to subdivide one parcel into three lots.

The site fronts onto Gill Road, a minor street with an adequate right-of-way. Each lot will have approximately 67 feet of frontage, thus access management is a concern. Each lot should be limited to one curb-cut each, with the size, design and location to be approved by Traffic Engineering and conform to AASHTO standards.

The 25-foot minimum building setback line, required in Section V.D.9., is not shown for the subdivision, but would be required on the final plat, if approved.

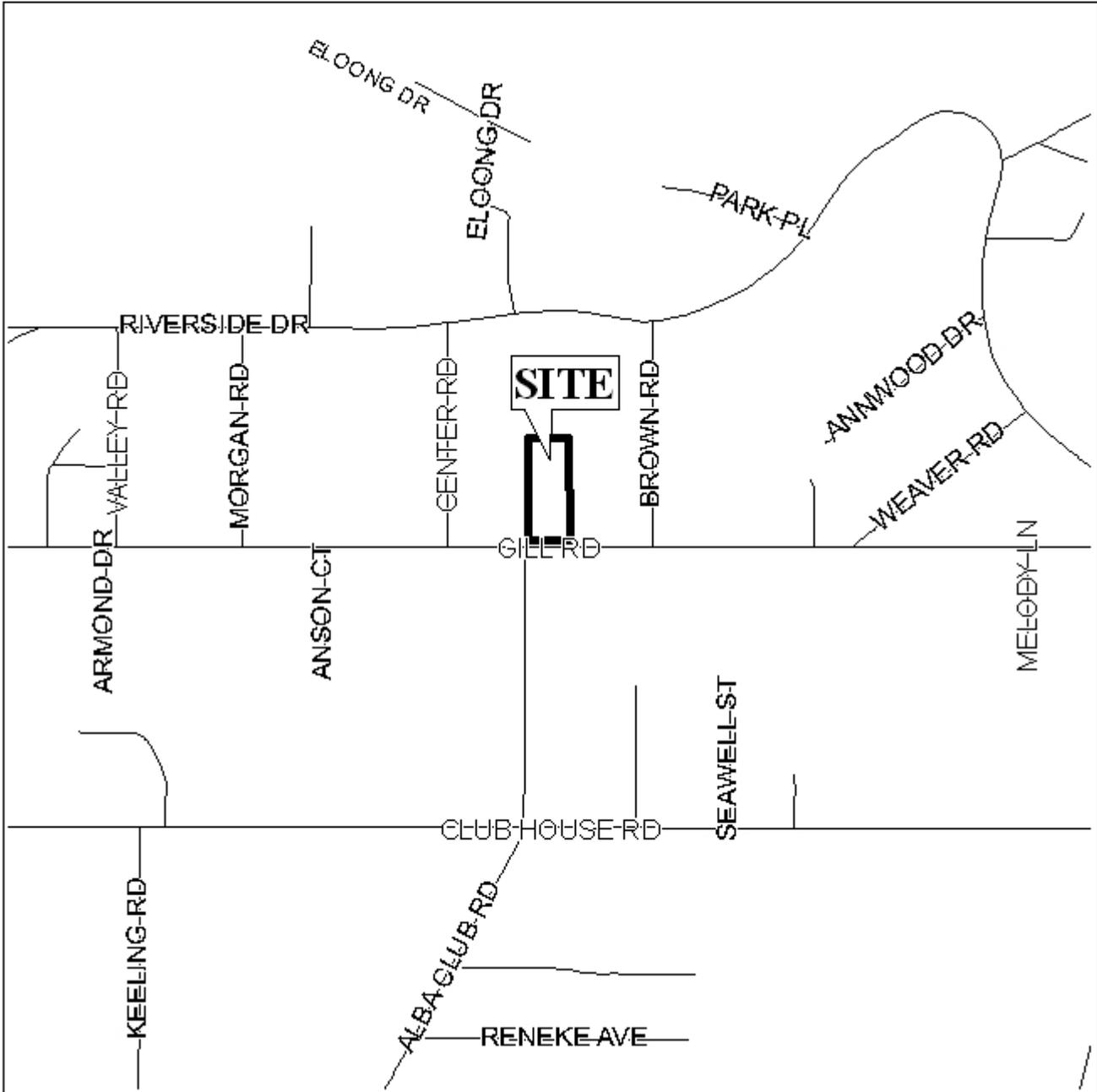
The parcel is approximately 499 feet deep and 200 feet wide. A three lot subdivision will result in each lot being approximately 67 feet wide, but with the same depth, thus the depth to width ratio is approximately 7.4, far exceeding the 3.5 ratio recommended by Section V.D.3. of the Subdivision Regulations. The parcel is adjacent to two lots with a depth to width ratio of approximately 5.5, and another lot with a ratio of 4.5. The general area also has many *parcels* with depth to width ratios far exceeding the recommendations of the Subdivision Regulations, but which are reflective of the widely spaced roads and the original division of the lands along Dog River. Due to the extensive depth of each lot, however, no additional subdivision should be allowed.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

With a waiver of Section V.D.3. of the Subdivision Regulations, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) Placement of a note on the plat stating that each lot is limited to one (1) curb-cut each, with the size, design and location of all curb-cuts are to be approved by Traffic Engineering and conform to AASHTO standards;
- 2) Depiction and labeling of the 25-foot minimum building setback line, as required by Section V.D.9.;
- 3) Placement of a note on the plat stating that no additional subdivision of the lots shall occur until additional frontage on a public street is provided;
- 4) Placement of a note on the plat stating that approval of all applicable Federal, state and local agencies is required for endangered, threatened or otherwise protected species, if any, prior to the issuance of any permits or land disturbance activities; and
- 5) The labeling of the lots with their size in square feet.

LOCATOR MAP



APPLICATION NUMBER 25 DATE April 17, 2008

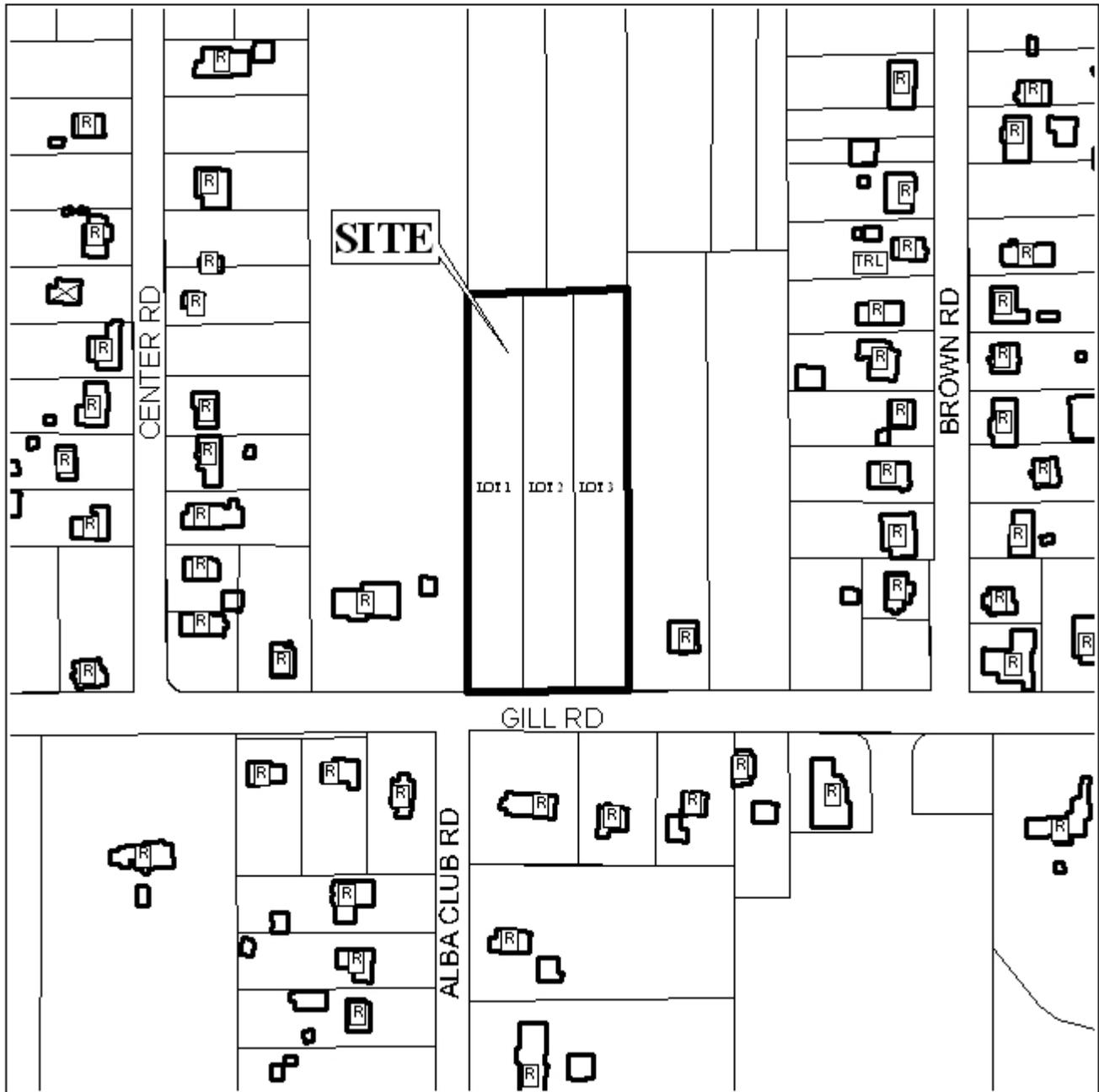
APPLICANT Christopher Nigzel Place Subdivision

REQUEST Subdivision



NTS

CHRISTOPHER NIGZHEL PLACE SUBDIVISION



APPLICATION NUMBER 25 DATE April 17, 2008

LEGEND	R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
	[White Box]	[Yellow Box]	[Green Box]	[Cyan Box]	[Light Orange Box]	[Pink Box]	[Tan Box]	[Light Blue Box]	[Purple Box]	[Orange Box]	[Red Box]	[Brown Box]	[Dark Blue Box]	[Light Purple Box]	[Grey Box]



NTS