

HOLDOVER

Revised

24

Case ZON2005-00234

SIDEWALK WAIVER REQUEST STAFF REPORT

Date: March 3, 2005

NAME

Hazel Gardner

LOCATION

1809 Wolf Ridge Road
(West side of Wolf Ridge Service Road, 100'± South of
Beau Terra Drive South)

PRESENT ZONING

B-2

ENGINEERING

COMMENTS

Holdover recommended. If the sidewalk is constructed an existing roadside ditch will need to be enclosed or relocated closer to Wolf Ridge Rd. Since enclosure of the ditch is quite costly and not usually required by the Planning Commission it is assumed the ditch would be relocated. The cross-section provided was not to scale and therefore could not be evaluated properly. Construction of sidewalk MAY cause pedestrian or roadside hazard depending on proximity of relocated ditch to sidewalk or roadside.

Recommend waiver. Sidewalk cannot be constructed to city standards.

REMARKS

The applicant is requesting a waiver of the sidewalk requirements along the Wolf Ridge Service Road frontage.

The applicant states that the sidewalk would be in the same location as the existing drainage ditch, and would create safety issues. The applicant also states that no adjacent property has a sidewalk.

While the adjacent properties do not have sidewalks, the commercial properties to the North along Wolf Ridge Road have provided sidewalks. Also, any future redevelopment of the commercially zoned property abutting the North side of the site would require the installation of a sidewalk along Wolf Ridge Road.

It should be noted that the Commission has rarely allowed the absence of sidewalks in an area as justification for waiving sidewalk requirements.

Further, it has been the policy of the Commission to approve sidewalk waivers only in cases where there was an engineering reason or physical barrier that made installation of the sidewalk impracticable. Based on comments from the Engineering Department, a holdover is recommended so that a revised cross-section, drawn to scale, may be evaluated.

This application was held over from the Commission's February 17th meeting until the March 3rd meeting to allow the applicant to submit revised drawings of the ditch and proposed sidewalk.

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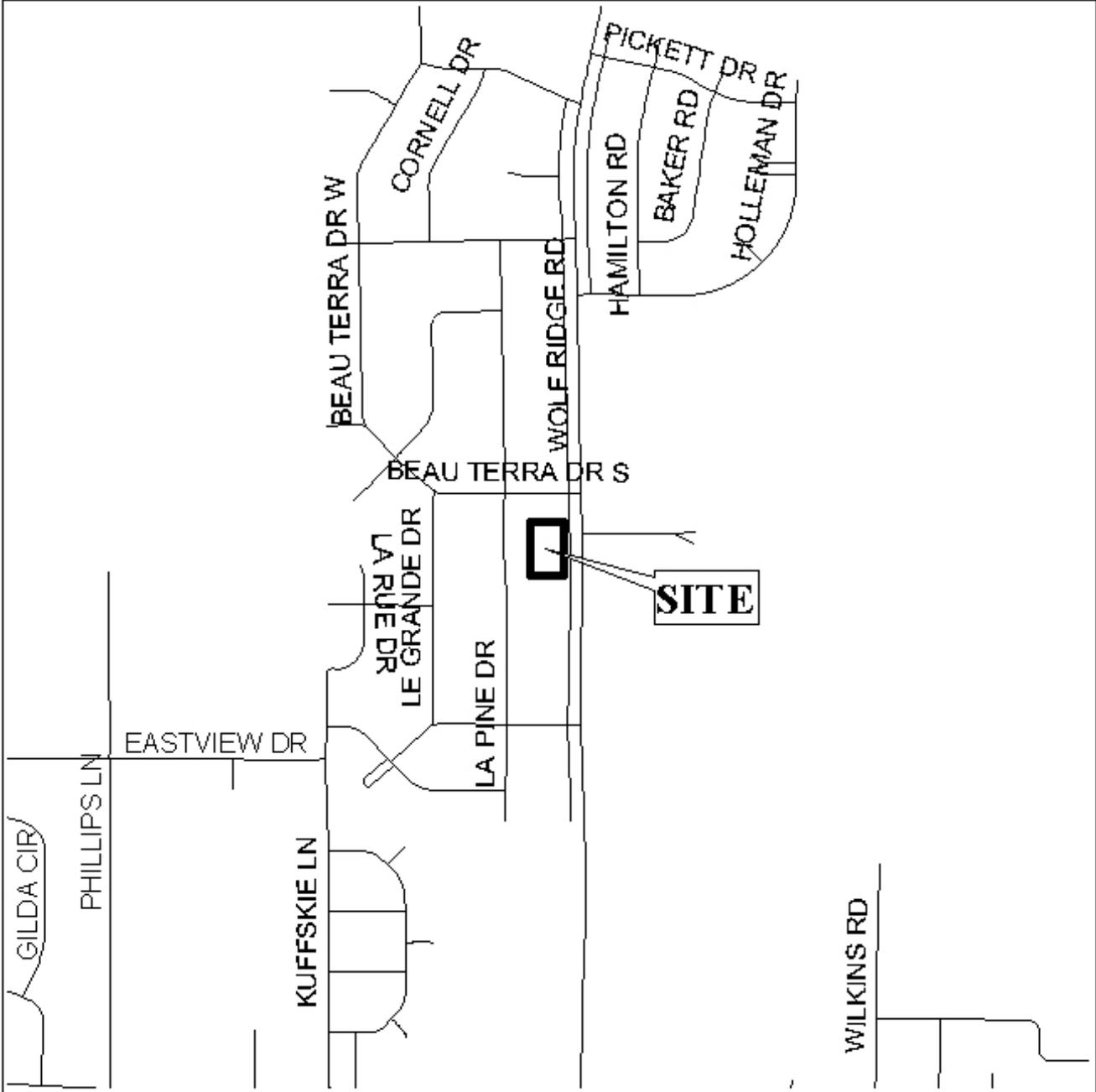
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The Engineering Department has found that a sidewalk could not be constructed to City standards on the site, and recommends a waiver of sidewalk requirements.

RECOMMENDATION

Based on the preceding, it is recommended that the sidewalk requirements be waived for this site.

LOCATOR MAP

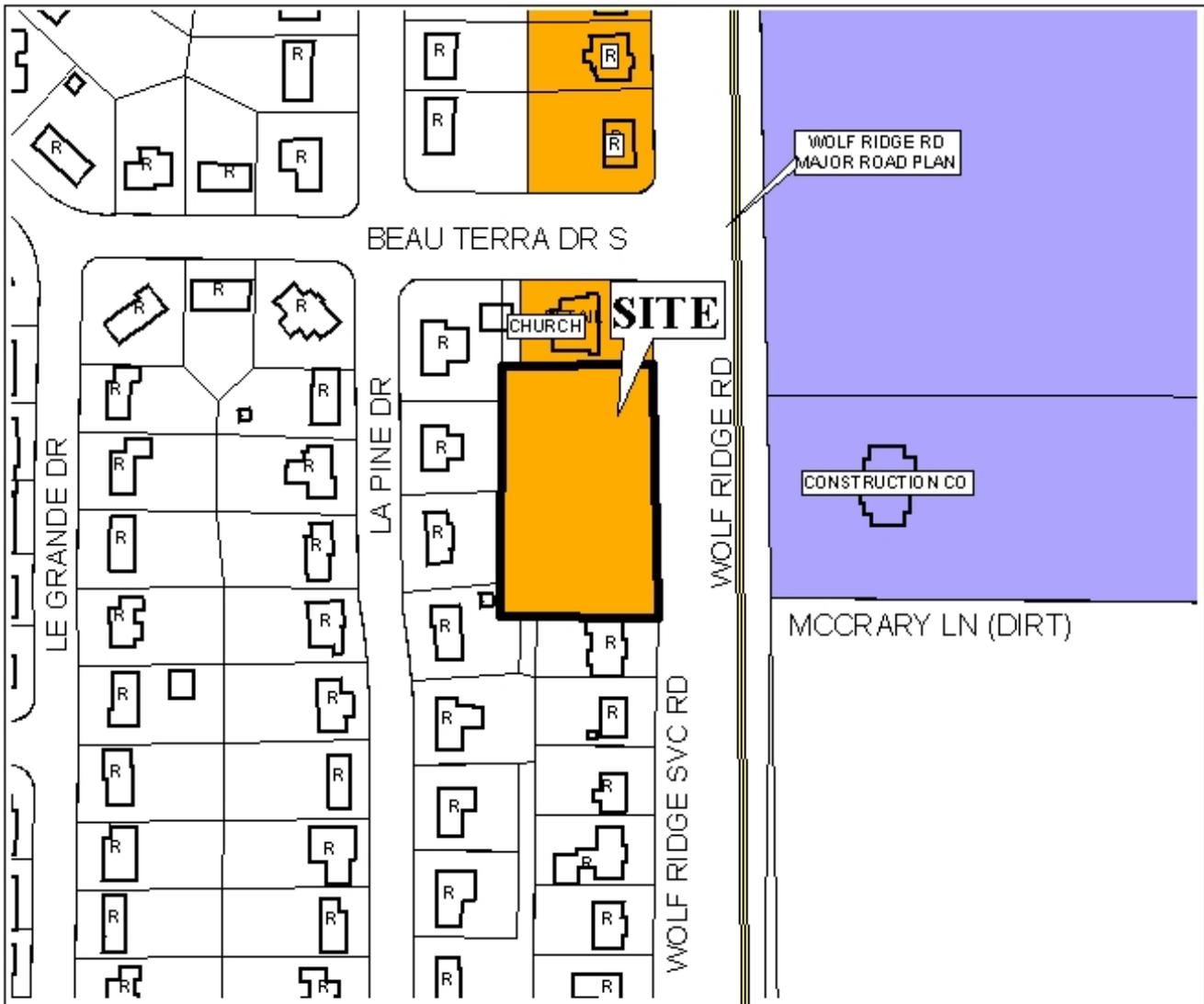


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REQUEST Sidewalk Waiver



NTS

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING

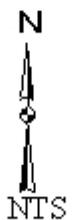


Single-family residential dwellings are to the South and West of the site.
A vacant commercial building is to the North and a construction company
is to the East.

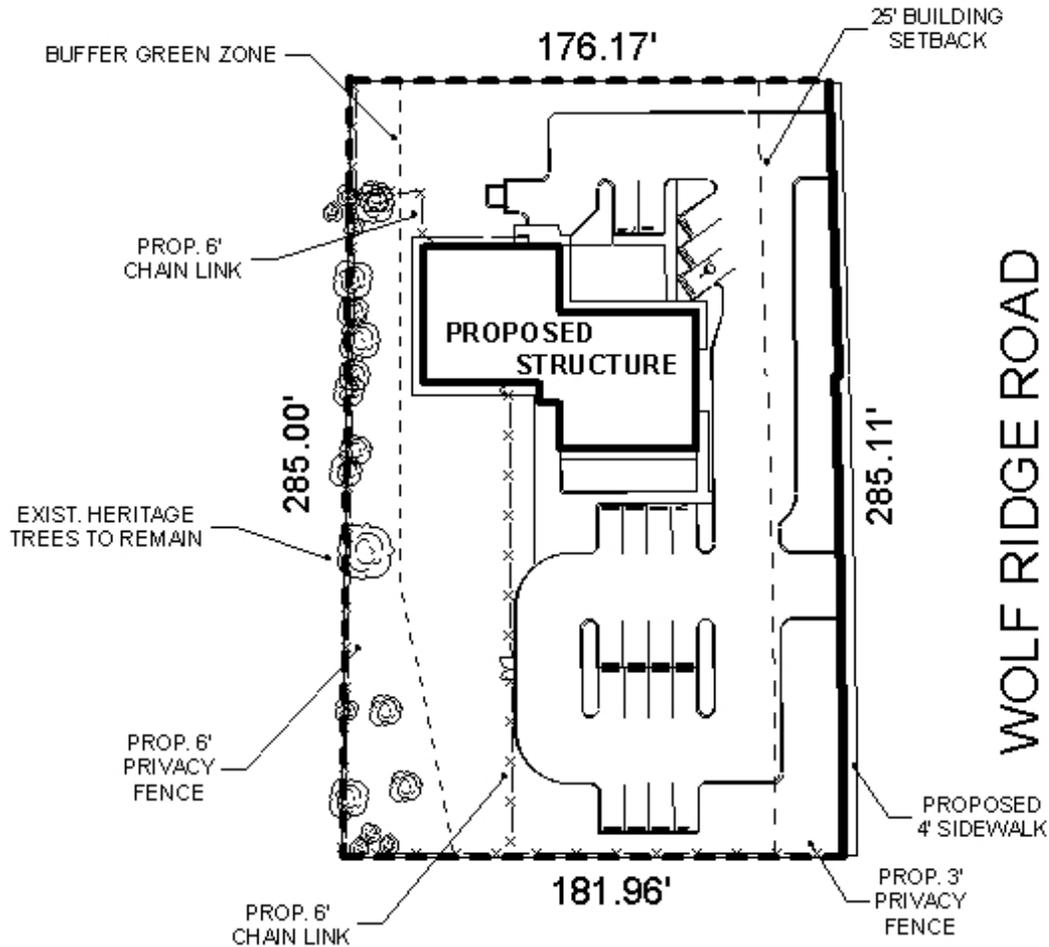
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LEGEND

R-1	R-2	R-3	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



SITE PLAN



The site is located on the West side of Wolf Ridge Service Road, 100' South of Beau Terra Drive South. The plan illustrates the existing setback and area to be rezoned.

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