

**PLANNED UNIT DEVELOPMENT
& SUBDIVISION STAFF REPORT**

Date: May 17, 2007

DEVELOPMENT NAME Toulminville Subdivision

SUBDIVISION NAME Toulminville Subdivision

LOCATION 517 and 518 Dixie Street
(Southeast corner of Dixie Street and Schwarz Street, and extending South to Clement Street & Northeast corner of Dixie Street and Clement Street, and extending North to the corner of Hathcox Street and Schwarz Street)

**CITY COUNCIL
DISTRICT** District 1

AREA OF PROPERTY 30 lots / 5.7 ± acres

CONTEMPLATED USE Planned Unit Development approval to allow reduced lot widths, reduced lot sizes, reduced side-yard setbacks, and increased site coverage, and Subdivision approval to create 30 lots.

**TIME SCHEDULE
FOR DEVELOPMENT** Not specified.

**ENGINEERING
COMMENTS** Provide detention for any increase in impervious area in excess of 4000 square feet constructed after 1984, when the Flood Plain Management Plan was implemented. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

**TRAFFIC ENGINEERING
COMMENTS** Driveway number, sizes, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

**URBAN FORESTRY
COMMENTS** Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

REMARKS The applicant is seeking Planned Unit Development approval to allow reduced lot widths, reduced lot sizes, reduced side-yard setbacks, and increased site coverage, and Subdivision approval to create 30 lots. Rear setbacks are proposed to remain at 8 feet. The site is located in Council District 1, and according to the applicant is served by public water and sanitary sewer.

The applicant specifically proposes the following changes to the development requirements for the 30 lot, single-family subdivision:

- 1) Lots 1-12: 5-foot side yard setback where not abutting a street (standard minimum side yard not abutting a street is 8 feet required by the Zoning Ordinance);
- 2) Corner Lots: 20-foot side yard setback (Subdivision Regulations require a 25-foot minimum building setback from all street frontages, but Zoning Ordinance allows 20 feet for side yards with street frontage, with a minimum of 12 feet under certain circumstances);
- 3) 40% maximum building site coverage for Lots 2-11 (standard maximum building site coverage is 35% required by the Zoning Ordinance in R-1 districts);
- 4) 40 foot width, 4,800 square feet lot size for Lots 2-11 (minimum lot width of 60 feet, and minimum lot size is 7,200 square feet required by the Subdivision Regulations and by the Zoning Ordinance in R-1 districts);

The applicant specifically refers to Section 64-4.D.8. of the Zoning Ordinance, which allows for a waiver of the minimum yard requirements of the Zoning Ordinance in favor of those proposed via an approved innovative subdivision.

The site was originally developed in the 1940s (approximately) with 19 buildings containing multiple-dwelling units (approximately 83 dwelling units based upon documentation on file with the Urban Development Department). Parking was accommodated on the streets and in a few head-in locations within the right-of-way for Dixie Street. The site, which had fallen into disrepair and become a blight on the neighborhood, has been cleared of all structures.

The site has frontage onto four streets: Clement Street, Schwartz Street, Hathcox Street and Dixie Street. Clement and Hathcox Streets have substandard right-of-way widths of 40 and 45 feet, respectively, thus sufficient right-of-way should be dedicated to provide 25 feet as measured from the centerline of each respective street. It should be pointed out that the dedication of additional street frontage may negatively impact Lots 1, 12, 13, 21, 22 and 30, thus the Planning Commission may want to consider reducing the requested side-street side yard width of 20 feet to 15 feet for these lots (The Zoning Ordinance allows a 12 foot side yard setback along a side street where the residence to the rear of a corner lot does not face the side street).

Dixie Street is internal to the proposed subdivision, and the applicant proposes to vacate a portion of the street and reroute it to intersect Hathcox Street instead of Schwartz Street. The street vacation process should be completed prior to the signing of the final plat, if approved.

Access management is a concern due to the proposed number of lots and thus the required number of curb cuts. Each lot should be limited to one curb-cut each, with the size, design and location to be approved by Traffic Engineering.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that

natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan / Subdivision plat will require approval by the Planning Commission.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The site is surrounded by single-family residences to the West, North and East, and is bounded to the South by Fonvielle Elementary School. The residential lots West of the site are approximately 40 feet wide, while the other residential lots appear to meet the minimum widths required by the Subdivision Regulations.

Regarding the proposed Subdivision, the average lot size for the development will be 7,050 square feet, just less than the minimum required by Section V.D.2. of the Subdivision Regulations. Twenty of the thirty lots will, in fact, be larger than the minimum required lot size, however, proposed Lots 2-11 will only be 4,800 square feet in size: these sub-standard lots are across Schwartz Street from existing lots that front Hathcox Street and Edwards Avenue, and that are only 40-feet in width. The proposed lots will be in keeping with the existing lots West of the site, and thus could be considered in keeping with the "Traditional Neighborhood Design" aspect of the Section VIII.C. of the Subdivision Regulations. It is recommended, therefore, that Section V.D.2. of the Subdivision Regulations be waived for proposed Lots 2-11.

Overall, the proposed PUD and Subdivision will be more compatible with the surrounding neighborhood in terms of scale and density than the previous multi-family use. However, it should be pointed out that Section 64-6. of the Zoning Ordinance requires two off-street parking spaces for each single-family dwelling unit.

The plat and site plan do not indicate any sort of storm water detention facility. If such a facility is required by the Engineering Department, the plat and site plan should be revised to depict the facilities prior to the recording of the final plat. A revised site plan should also be provided to the Planning Section of Urban Development prior to the signing of the final plat, if approved.

Finally, the PUD site plan should be revised to depict sidewalks along all street frontages. The dedication of additional right-of-way along Hathcox and Clement Streets should provide adequate space for sidewalks, and the proximity of the elementary school and the residential nature of the area underscores the need for sidewalks for the site.

RECOMMENDATION

Subdivision: With a waiver of Sections V.D.2. and V.D.9., this application is recommended for Tentative Approval, subject to the following conditions:

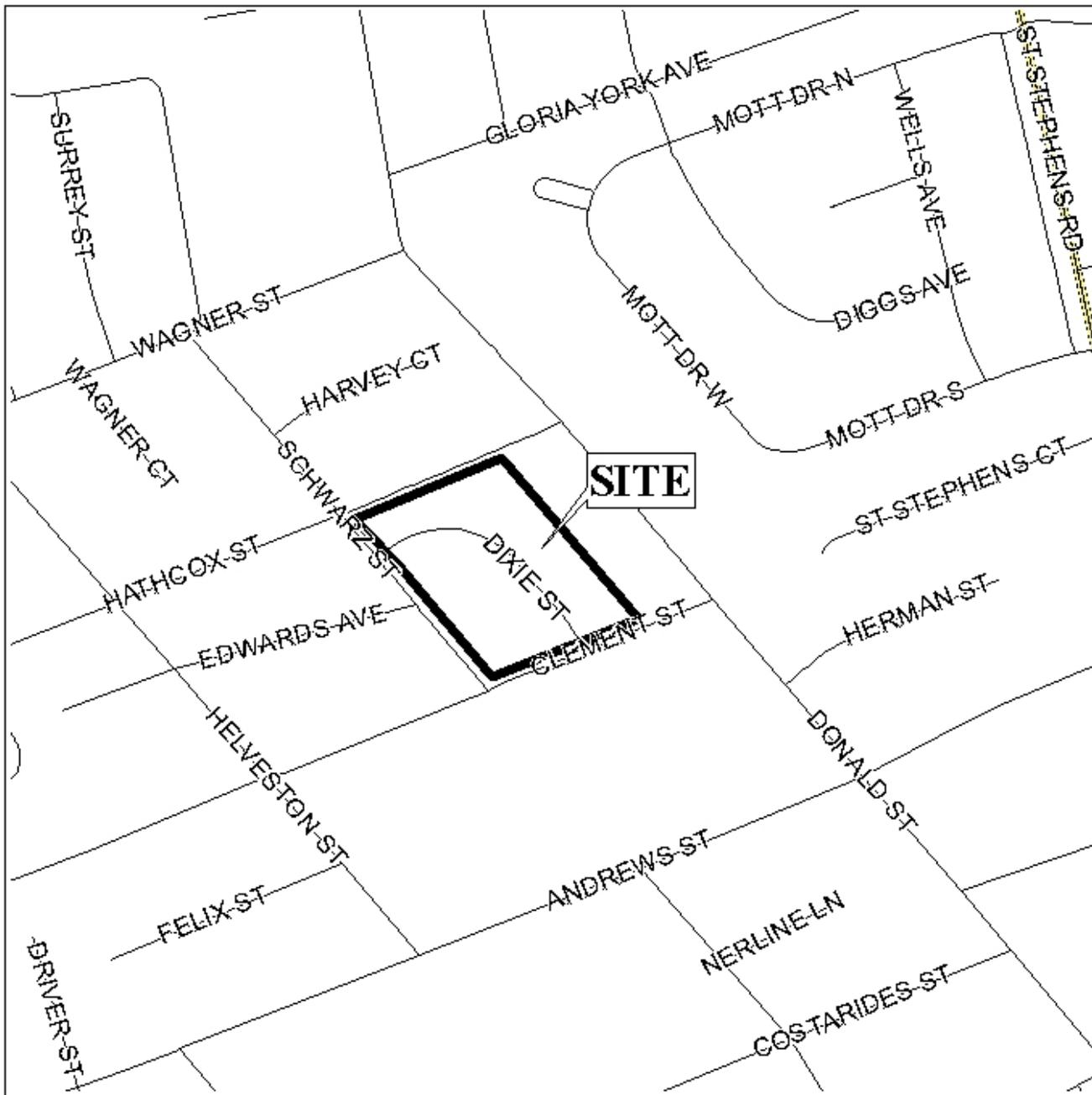
- 1) compliance with Engineering comments (*Provide detention for any increase in impervious area in excess of 4000 square feet constructed after 1984, when the Flood Plain Management Plan was implemented. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.*)
- 2) dedication of right-of-way sufficient to provide 25 feet, as measured from the centerline of both Hathcox and Clement Streets;
- 3) completion of the right-of-way vacation process for that portion of Dixie Street that will be vacated;
- 4) construction and dedication of the new street to City Engineering standards;
- 5) placement of a note on the final plat stating that each lot is limited to one curb-cut, with the size, design and location of all curb-cuts to be approved by Traffic Engineering and conform with AASHTO standards;
- 6) revision of the plat to show the minimum building (side yard) setback line along Hathcox and Clement Streets as 15 feet instead of 20 feet;
- 7) revision of the plat to show the 25-foot minimum building setback lines along all other street frontages;
- 8) revision of the lot size table if necessary due to right-of-way dedications;
- 9) placement of the PUD front, side and rear yard setback and site coverage information (specifying which lots are allowed increased site coverage), as revised, on the final plat, as shown on the preliminary plat;
- 10) depiction of any storm water detention common area, if required, and the placement of a note on the final plat stating that maintenance of the common area is the responsibility of the homeowners;
- 11) provision of a revised PUD site plan to the Planning Section of Urban Development prior to the signing of the final plat; and
- 12) full compliance with all other municipal codes and ordinances.

Planned Unit Development: Based on the preceding, this application is recommended for Tentative Approval, subject to the following conditions:

- 1) completion of the Subdivision process;
- 2) compliance with Engineering comments (*Provide detention for any increase in impervious area in excess of 4000 square feet constructed after 1984, when the Flood Plain Management Plan was implemented. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.*)
- 3) dedication of right-of-way sufficient to provide 25 feet, as measured from the centerline of both Hathcox and Clement Streets;
- 4) completion of the right-of-way vacation process for that portion of Dixie Street that will be vacated;
- 5) construction and dedication of the new street to City Engineering standards;

- 6) placement of a note on the final site plan stating that each lot is limited to one curb-cut, with the size, design and location of all curb-cuts to be approved by Traffic Engineering and conform with AASHTO standards;
- 7) revision of the site plan to show the minimum building (side yard) setback line along Hathcox and Clement Streets as 15 feet instead of 20 feet;
- 8) revision of the site plan to show the 25-foot minimum building setback lines along all other street frontages;
- 9) revision of the lot size table if necessary due to right-of-way dedications;
- 10) placement of the PUD front, side and rear yard setback and site coverage information (specifying which lots are allowed increased site coverage), as revised, on the final site plan, as shown on the preliminary site plan;
- 11) depiction of any storm water detention common area, if required, and the placement of a note on the final site plan stating that maintenance of the common area is the responsibility of the homeowners;
- 12) provision of a revised PUD site plan to the Planning Section of Urban Development prior to the signing of the final plat; and
- 13) full compliance with all other municipal codes and ordinances.

LOCATOR MAP



APPLICATION NUMBER 23 & 24 DATE May 17, 2007

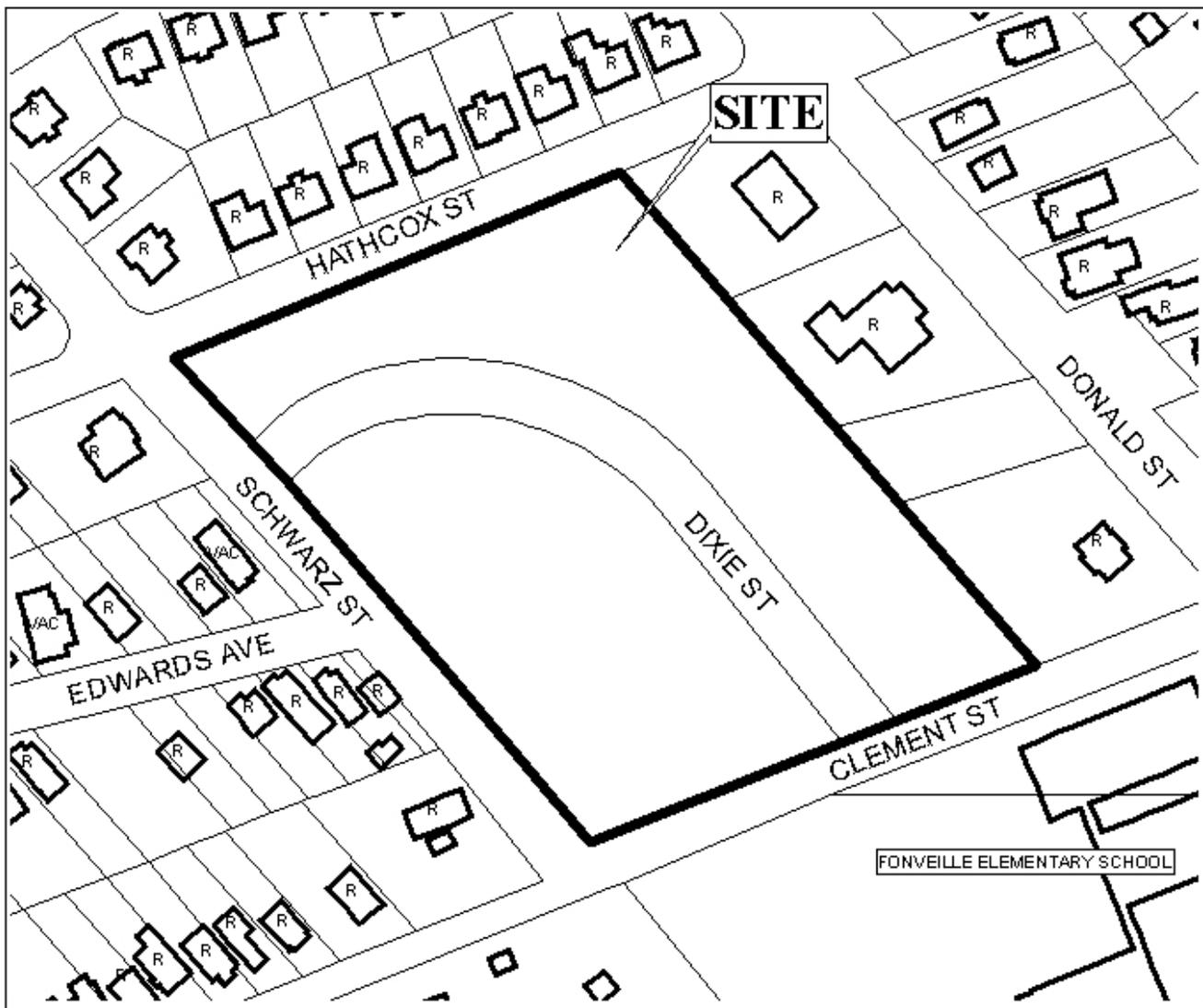
APPLICANT Toulminville Subdivision

REQUEST Subdivision, Planned Unit Development



NTS

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



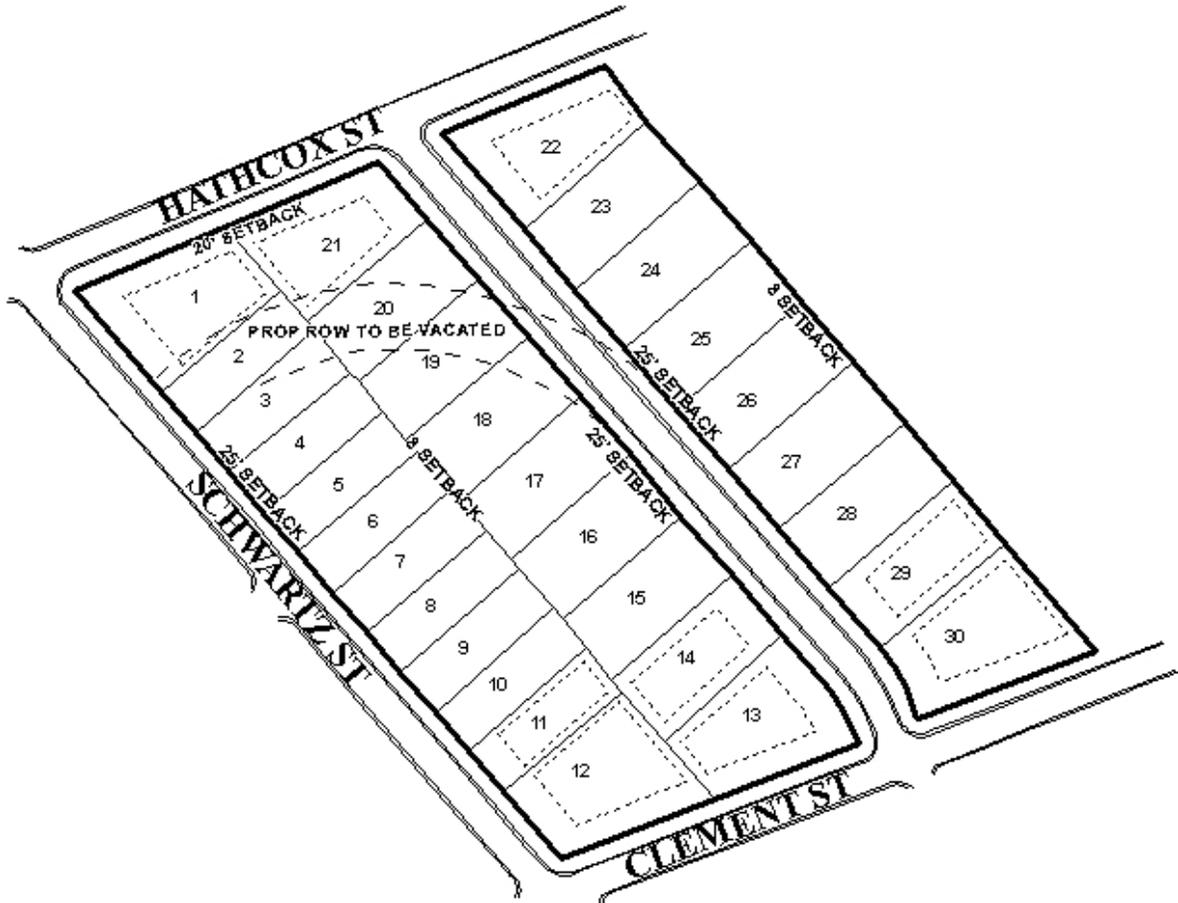
The site is surrounded by single-family residential units. A school is located to the south of the site.

APPLICATION NUMBER 23 & 24 DATE May 17, 2007
 APPLICANT Toulminville Subdivision
 REQUEST Subdivision, Planned Unit Development



LEGEND	 R-1	 R-2	 R-3	 R-A	 R-B	 H-B	 B-1	 LB-2	 B-2	 B-3	 B-4	 B-5	 I-1	 I-2	NTS
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SITE PLAN



The site plan illustrates the proposed development

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