

REZONING STAFF REPORT

Date: April 5, 2007

APPLICANT NAME

Airport Properties, LLC

LOCATION

Southeast corner of Riviere Du Chien Road and MacKinnon Industrial Parkway

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Rezoning from, to, to allow construction of a warehouse and office for a commercial supply business.

CITY COUNCIL DISTRICT

Council District 4

PRESENT ZONING

B-3, Community Business District

PROPOSED ZONING

I-1, Light Industry District

AREA OF PROPERTY

2.25± acres

CONTEMPLATED USE

Commercial Supply Businesses with Office/Warehouse and Individual Lay Down Yards

It should be noted, however, that any use permitted in the proposed district would be allowed at this location if the zoning is changed. Furthermore, the Planning Commission may consider zoning classifications other than that sought by the applicant for this property.

REASON FOR REZONING

Changing Conditions.

TIME SCHEDULE FOR DEVELOPMENT

Immediate

ENGINEERING COMMENTS

The storm water ordinance does not allow water to be concentrated onto an adjacent property without a hold harmless agreement. All storm water must tie to the City of Mobile storm drainage system. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

TRAFFIC ENGINEERING COMMENTS

Driveway number, sizes, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64). Full compliance with landscaping and tree requirements of the Zoning Ordinance to be coordinated with Urban Forestry.

REMARKS

The applicant is requesting rezoning from B-3 to I-1 to allow development of three existing lots of record as commercial supply businesses with office/warehouse buildings and individual lay down yards.

The Zoning Ordinance states that an amendment is to be made only when one or more of the following conditions prevail: there is a manifest error in the ordinance; changes in conditions in a particular area make a change in the ordinance necessary and desirable; an increased need for business or industrial sites in addition to sites that are available make it necessary and desirable to rezone an area or extend the boundaries of an existing district; the subdivision of land into urban building sites makes reclassification necessary and desirable.

The applicant contends that the existing zoning pattern of the immediate area currently consists of B-3 and I-1 zoned properties, and that changing the zoning of the site in question from B-3 to I-1 would not have a negative impact on the surrounding properties. The applicant also states that the conditions in the area are changing from a business to an industrial environment.

The site and the general area are shown as industrial on the General Land Use Component of the Comprehensive Plan as industrial. However, the Comprehensive Plan is meant to be a general guide, not a detailed lot and district plan or mandate for development. The Planning Commission and City Council may consider individual cases based on additional information such as the classification requested, the surrounding development, the timing of the request, and the appropriateness and compatibility of the proposed use and zoning classification.

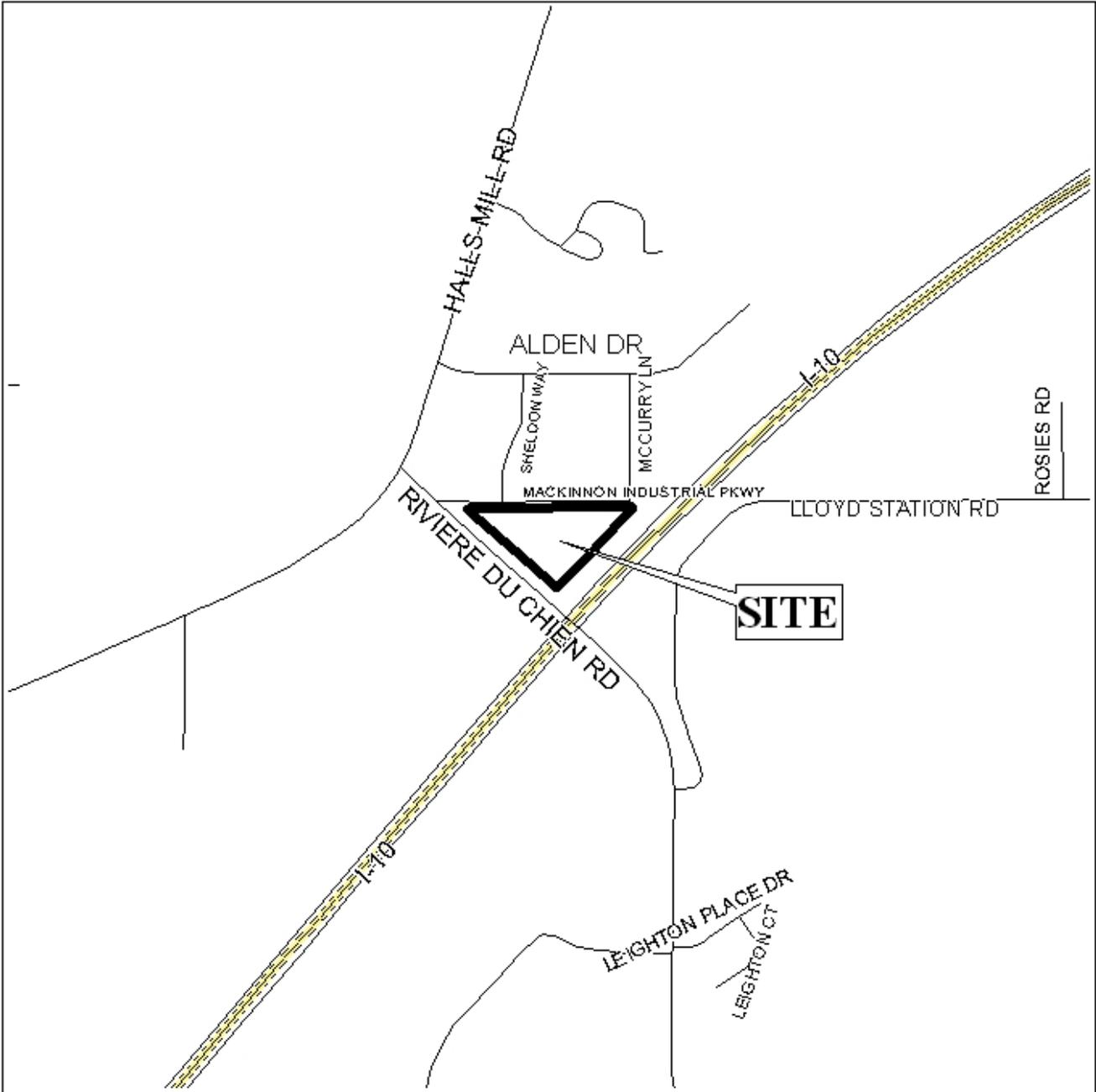
While rezoning applications are not site plan specific, there are a couple of issues of which the applicant and design professional should be made aware:

1. The plan indicates that Lots B and C are denied access to I-10, but does not reference that Lots A and B should be denied access to Riviere du Chein Road.
2. The plan does not reflect the location of detention areas, which will be required by the Engineering Department to comply with stormwater control ordinances.
3. The plan does not indicate the location of dumpsters for any of the proposed developments.
4. The plan illustrates a sidewalk along the frontage of Lot C, but not along the frontages of Lots A and B.
5. While the individual parking areas do not contain the minimum number of spaces required to provide screening of the parking area from residential properties across the street, the intensity of I-1 zoning and the large maneuvering/loading areas should justify such a provision for the entire road frontage.

RECOMMENDATION Based on the preceding, the application is recommended for approval subject to the following conditions:

1. Compliance with City Engineering requirements;
2. Lots B and C are denied access to I-10;
3. Lots A and B are denied access to Riviere du Chein Road;
4. limited to a maximum of three curb cuts to McKinnon Industrial Parkway, size, location and design to be approved by Traffic Engineering;
5. Provision of sidewalks along the entire McKinnon Industrial Parkway frontage;
6. Provision of screening of parking in compliance with Section VI.3.i

LOCATOR MAP



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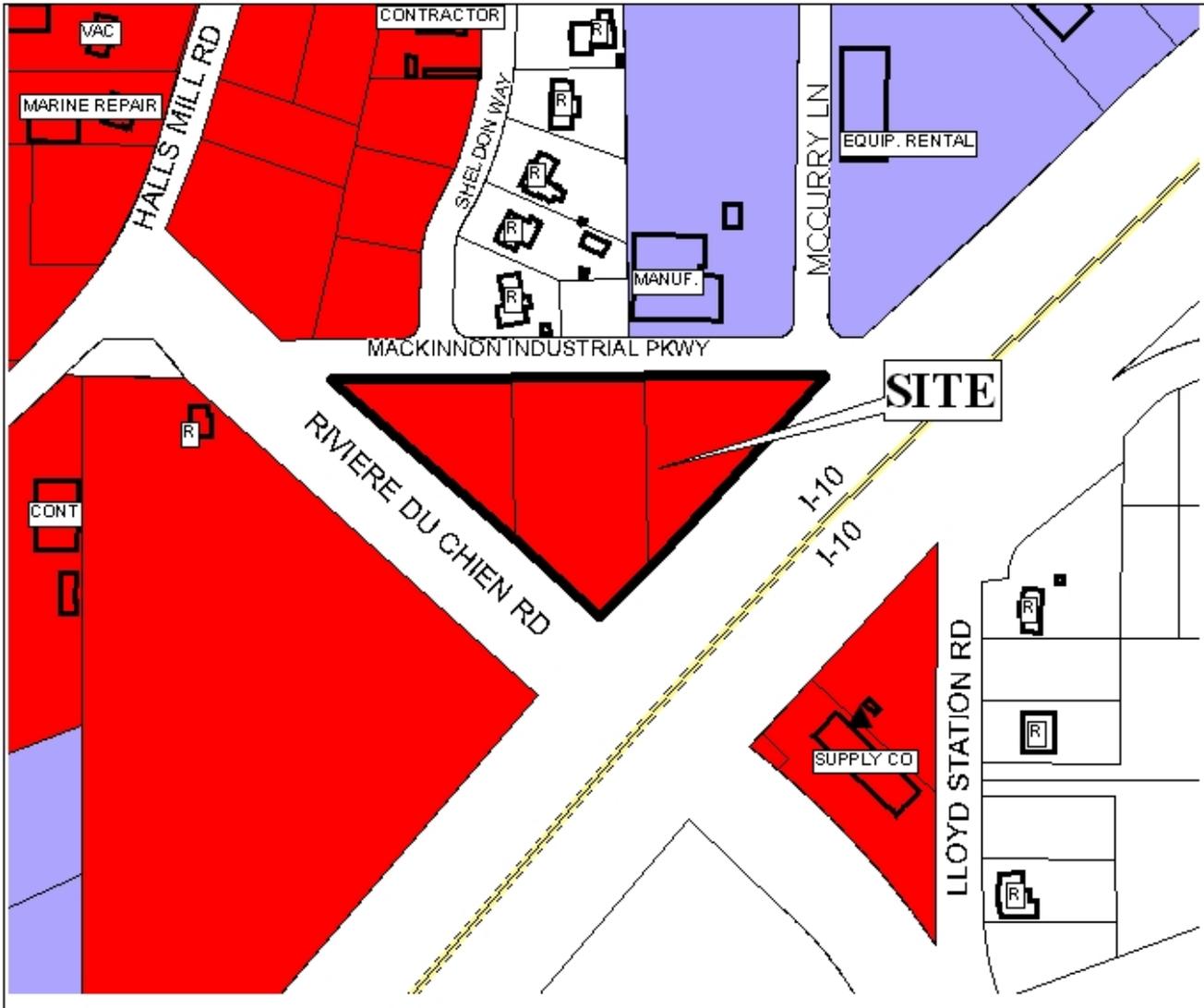
APPLICANT Airport Properties, LLC

REQUEST Rezoning from B-3 to I-1



NTS

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



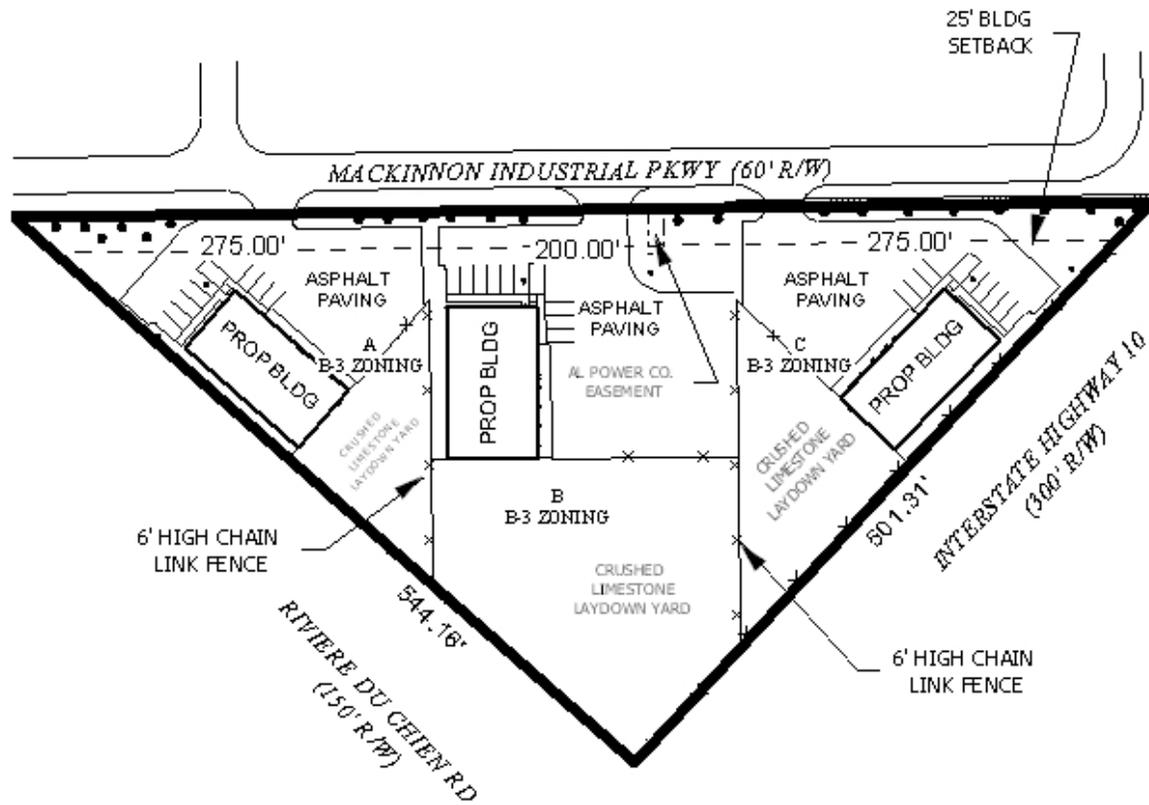
There is a contractor to the northwest of the site, single family residential units to the north, manufacturing to the northeast, and a supply company to the southeast.

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LEGEND														NTS	
	R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2	



SITE PLAN



The site plan illustrates proposed buildings, building setback, parking, AL Power Co. Easement, existing zoning and fences.

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