

DANNY LIPFORD SUBDIVISION

Engineering Comments: Development of property must comply with the Mobile County Flood Damage Prevention Ordinance.

The plat illustrates the proposed 1-lot, 1.3± acre subdivision which is located on the West side of Cody Road, 360'± South of Grelot Road. The subdivision is served by city water and sanitary sewer.

The purpose of this application is to create a 1-lot subdivision from two metes and bounds parcels.

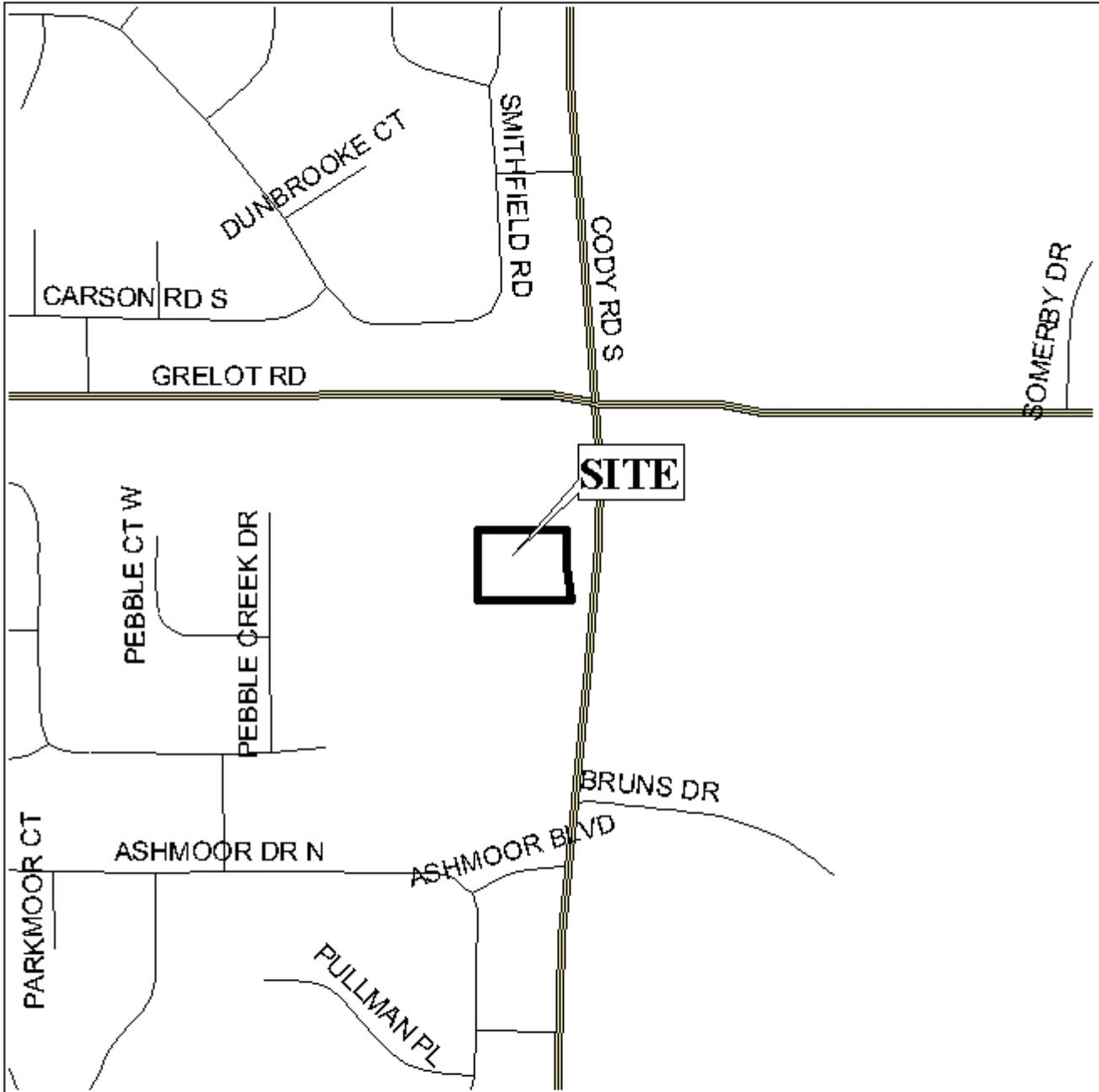
The site fronts Cody Road, a planned major street, and the right-of-way is illustrated as variable; therefore, the dedication of any necessary right-of-way to provide 50-feet from the centerline of Cody Road should be required. Additionally, since the site will have approximately 208-foot of road frontage on a major street, access management is a concern; therefore, a note should be placed on the final plat stating that the development is limited to one curb cut to Cody Road, with the size, location and design to be approved by County Engineering.

Since the site is located in the County, thus a note should be placed on the final plat stating that any lots which are developed commercially and adjoin residentially developed property, shall provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

The required twenty-five foot minimum building setback line is not illustrated, but will be required on the final plat.

With modifications, the plat will meet the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval subject to the following conditions: 1) dedication of any necessary right-of-way to provide 50-feet from the centerline of Cody Road, a planned major street; 2) the placement of a note on the final plat stating that the development is limited to one curb cut, to Cody Road, with the size, location and design to be approved County Engineering; and 3) the placement of a note on the final plat stating that any lot that is developed commercially and adjoins residentially developed property shall provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations; and 4) placement of the required 25-foot minimum building setback line on the final plat.

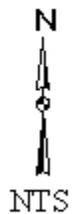
LOCATOR MAP



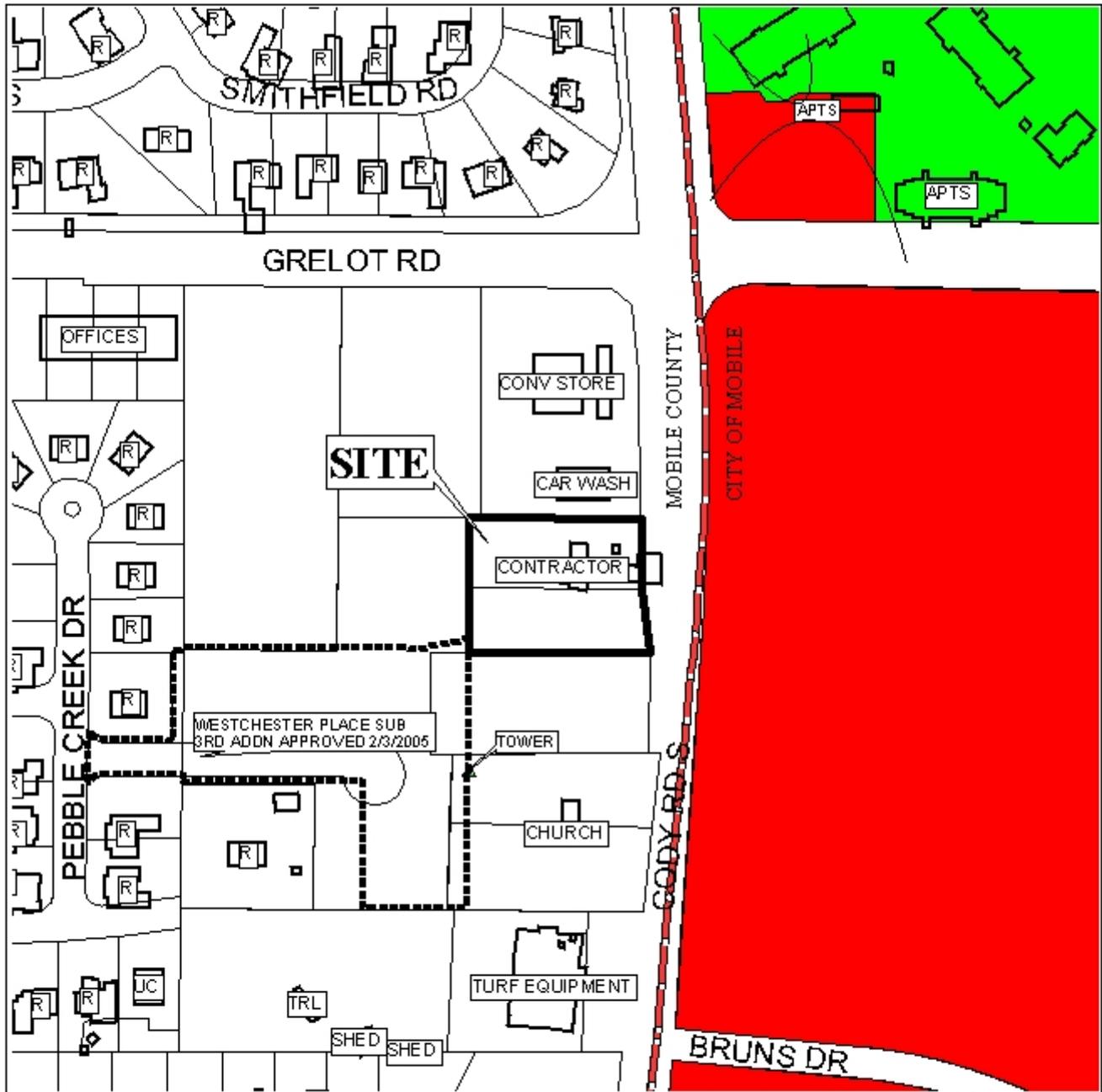
APPLICATION NUMBER 20 DATE April 7, 2005

APPLICANT Danny Lipford Subdivision

REQUEST Subdivision

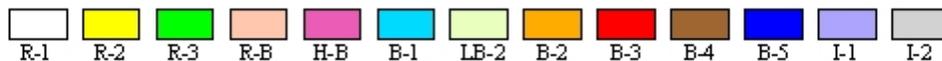


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