

**PLANNED UNIT DEVELOPMENT &
SIDEWALK WAIVER REQUEST
STAFF REPORT**

Date: May 1, 2008

<u>NAME</u>	Southern Earth Sciences Inc.
<u>LOCATION</u>	3500 Government Boulevard (North side of Government Boulevard Service Road, 560'± West of West I-65 Service Road South)
<u>CITY COUNCIL DISTRICT</u>	District 4
<u>PRESENT ZONING</u>	I-1, Light Industry District
<u>AREA OF PROPERTY</u>	1 Lot / 4.5 ± Acres
<u>CONTEMPLATED USE</u>	<i>Planned Unit Development</i> to amend the site plan of a previously approved Planned Unit Development to allow multiple buildings on a single building site, and <i>Sidewalk Waiver</i> to waive construction of sidewalks along Government Boulevard.
<u>TIME SCHEDULE FOR DEVELOPMENT</u>	Immediate

ENGINEERING

COMMENTS

Delete note on plans referring to “delineation between flood zones was determined by elevations from FEMA map.” Any determination of special flood hazard area should be done by graphically plotting the boundary of the special flood hazard area on the site. It is the responsibility of the applicant to look up the site in the City of Mobile (COM) GIS system and verify if NWI wetlands are depicted on the site. If the COM GIS shows wetlands on the site, it is the responsibility of the applicant to confirm or deny the existence of wetlands on-site. If wetlands are present, they should be depicted on plans and/or plat, and no work/disturbance can be performed without a permit from the Corps of Engineers. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

Sidewalk Waiver: Due to possible drainage problems created by the construction of City standard sidewalk, the sidewalk waiver is recommended for approval.

TRAFFIC ENGINEERING

COMMENTS

Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. Final approval for all driveways, proposed and existing will be given upon submittal of final plans.

URBAN FORESTRY

COMMENTS

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

FIRE DEPARTMENT

COMMENTS

All commercial projects shall comply with the 2003 International Fire Code and Appendices B through G, as adopted by the City of Mobile on July 6, 2004. Shall comply with Section 508.5.1 of the 2003 International Fire Code.

REMARKS

The applicant is requesting *Planned Unit Development* to amend the site plan of a previously approved Planned Unit Development to allow multiple buildings on a single building site, and *Sidewalk Waiver* to waive construction of sidewalks along Government Boulevard. Planned Unit Development approval is required to allow a multiple buildings on a single building site.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan must be approved by the Planning Commission.

The original PUD for the site was approved by the Planning Commission at its May 17, 2007 meeting, and included a 12,000 square foot office building and a second building (laboratory and warehouse) containing approximately 7,000 square feet (total of 19,000 square feet). The current application depicts a 3,600 square foot office/lab building and a 5,000 square foot drill warehouse (total of 8,600 square feet). Both applications include a gravel parking and storage area. The site was also rezoned at the May 17, 2007 meeting from B-3 to I-1 to allow the proposed use.

Regarding the proposed gravel parking and maneuvering area, an application to the Zoning Board of Adjustment is pending for the May 5, 2008 meeting to request approval of the gravel parking and maneuvering area in an I-1 district. Any approval of the PUD would be subject to approval of the gravel surfacing variance, otherwise the parking and maneuvering areas must be paved. A portion of the access drive from Government Boulevard (approximately 200 feet) will be asphalt in order to minimize the tracking of gravel onto Government Boulevard, a state regulated facility.

It appears, generally, that the number of parking spaces will be adequate for the proposed use, however, parking for the warehouse area should be based upon the number of employees, not the area of the warehouse. The PUD site plan should be revised to provide the number of warehouse employees, and the corresponding minimum required number of parking spaces.

The site fronts Government Boulevard and its service road, a planned major street which has an existing right-of-way of approximately 250-feet. The site has approximately 71-feet of frontage onto the service road, immediately west of where the service road crosses the Montlimar Creek drainage canal. The curb-cut location and design must be approved by Traffic Engineering and ALDOT.

The site adjoins the Montlimar Creek drainage canal and as such the area may be considered environmentally sensitive; thus the approval of all applicable federal, state and local agencies would be required.

Regarding the required landscaping and trees, the site will meet the minimum requirements of the Zoning Ordinance, with two frontage trees (two required for I-1 sites), and 122,074 square feet of landscape area (23,454 square feet required). Of the total landscape area, 60% of it must occur between the street line and the building wall facing the street: 14,072 square feet is required and over 62,000 square feet is provided.

No dumpster or waste disposal facility is depicted on the site plan. If a dumpster is proposed, it must be depicted on the site plan, or a note should be placed on the site plan identifying the waste disposal system that will be utilized for the business.

Finally, the applicant is requesting the waiver of the sidewalk requirements for Government Boulevard. The site is bounded to the West and North by commercial uses, to the East by the Montlimar Creek drainage canal and commercial uses, and to the South by Government Boulevard and commercial uses. Sidewalks exist approximately 90 feet West of the site's frontage on the Government Boulevard service road, however, there are no sidewalks East of the bridge over Montlimar Creek. It does appear that other recent new construction in the area, on the same side of Government Boulevard, has provided sidewalks.

The applicant states the existing bridge guardrail would conflict with a sidewalk "with respect to routing pedestrian traffic on to the bridge and not into Montlimar Creek. A sidewalk would create a very unsafe situation."

RECOMMENDATION

Planned Unit Development Based upon the preceding, this application is recommended for approval subject to the following conditions:

- 1) Compliance with Engineering comments (*Delete note on plans referring to "delineation between flood zones was determined by elevations from FEMA map." Any determination of special flood hazard area should be done by graphically plotting the boundary of the special flood hazard area on the site. It is the responsibility of the applicant to look up the site in the City of Mobile (COM) GIS system and verify if NWI wetlands are depicted on the site. If the COM GIS shows wetlands on the site, it is the responsibility of the applicant to confirm or deny the existence of wetlands on-site. If wetlands are present, they should be depicted on plans and/or plat, and no work/disturbance can be performed without a permit from the Corps of Engineers. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.*);

- 2) Revision of the minimum required parking calculations for warehouse space to be determined by the number of employees (state the number of employees);
- 3) Curb-cut size, location and design to be approved by Traffic Engineering and ALDOT;
- 4) Gravel parking subject to approval by the Zoning Board of Adjustment, otherwise paved parking and maneuvering will be required (and a revised site plan);
- 5) Placement of a note on the site plan stating that approval of all applicable Federal, state and local agencies is required for wetland issues, if any, prior to the issuance of any permits or land disturbance activities;
- 6) Revision of the site plan to depict and label any dumpsters, or placement of a note on the site plan stating that dumpsters will not be used;
- 7) Full compliance with all municipal codes and ordinances; and
- 8) Provision of a revised PUD site plan to the Planning Section of Urban Development prior to the submittal of revised drawings for the associated building permits.

Sidewalk Waiver: The request is recommended for Approval.

LOCATOR MAP



APPLICATION NUMBER 20 & 21 DATE May 1, 2008

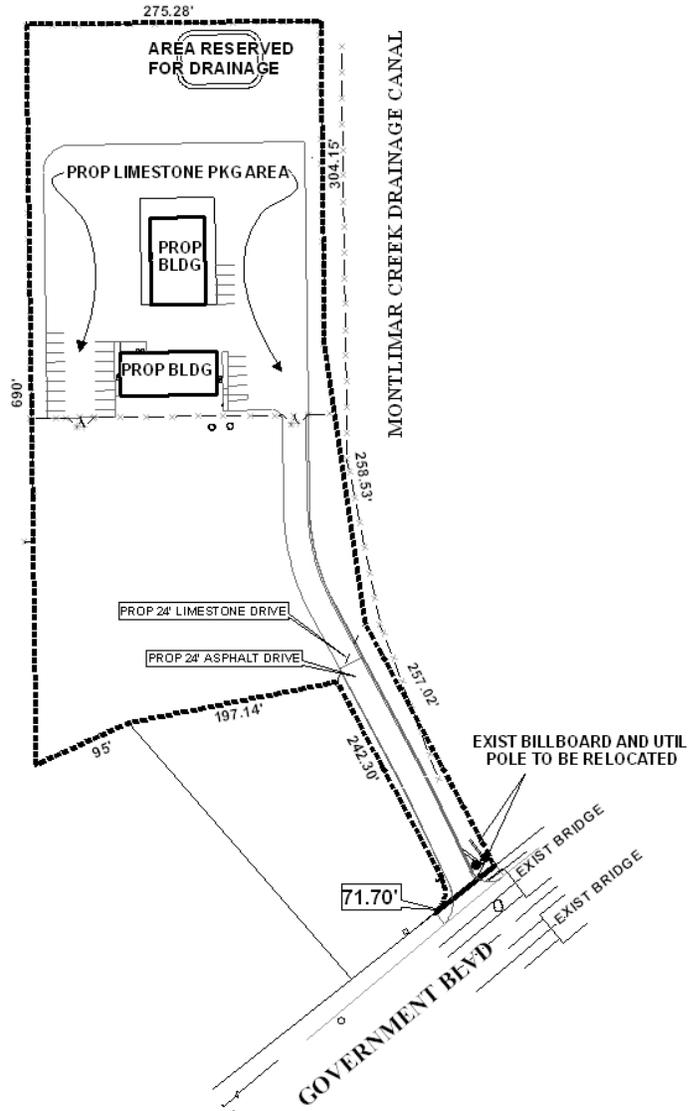
APPLICANT Southern Earth Sciences Inc.

REQUEST Sidewalk Waiver, Planned Unit Development



NTS

SITE PLAN



The site plan illustrates the proposed development

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