

PLANNING APPROVAL &
ZONING AMENDMENTSTAFF REPORT

Date: June 16, 2011

<u>NAME</u>	Gerald T. Still
<u>DEVELOPMENT NAME</u>	Gerald T. Still
<u>LOCATION</u>	2350 Demetropolis Road (West side of Demetropolis Road, 1900'± South of Cottage Hill Road)
<u>CITY COUNCIL DISTRICT</u>	District 4
<u>PRESENT ZONING</u>	R-1, Single-Family Residential District
<u>PROPOSED ZONING</u>	R-3, Multiple-Family Residential District
<u>REASONS FOR REZONING</u>	None given
<u>AREA OF PROPERTY</u>	1 Lot / 12.5± Acres
<u>CONTEMPLATED USE</u>	Rezoning from R-1, Single-Family Residential District, to R-3, Multiple-Family Residential District, to allow an assisted living facility; and Planning Approval to allow an assisted living facility in an R-3, Multiple-Family Residential District. It should be noted, however, that any use permitted in the proposed district would be allowed at this location if the zoning is changed. Furthermore, the Planning Commission may consider zoning classifications other than that sought by the applicant for this property.
<u>TIME SCHEDULE</u>	Construction to begin by April 2012
<u>ENGINEERING COMMENTS</u>	Must comply with all storm water and flood control ordinances. Any increase in impervious area in excess of 4,000 square feet will require detention. Detention required to provide at a minimum of a 100 year storm event with a 2 year release rate and discharge from site shall not be concentrated onto adjacent property without release agreement from downstream property owner. Any work performed in the right of way

will require a right of way permit. Drainage from any dumpster pads cannot discharge to storm sewer; must have connection to sanitary sewer.

TRAFFIC ENGINEERING

COMMENTS

Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. Both lanes of the boulevard entrance are twenty feet wide. Narrow the lanes to between twelve and fourteen feet to prevent two lanes of traffic.

URBAN FORESTRY

COMMENTS

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Tree removal permits are required from Urban Forestry before removing or trimming 24" DBH or larger Live Oak Trees.

Coordinate with Urban Forestry to revise site plan to save all 35" and larger Live Oak Trees where possible.

FIRE DEPARTMENT

COMMENTS

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

REMARKS

The applicant is requesting rezoning from R-1, Single-Family Residential District, to R-3, Multiple-Family Residential District, as well as Planning Approval to allow an assisted living facility in an R-3, Multi-Family Residential District.

The Planning Commission heard the rezoning case at its June 2, 2011 meeting and decided to hold this matter over until the June 16, 2011, meeting, with the following revisions due by Tuesday, June 7, 2011:

- 1) justification of rezoning according to at least one of the four conditions listed in Section 64-9. of the Zoning Ordinance; and,
- 2) correction of any data errors as it relates to property size depicted on the site plan.

The size of the property has not been corrected on the site plan, nor has any justification for the rezoning request has been submitted.

As stated in Section 64-9. of the Zoning Ordinance, the intent of the Ordinance and corresponding Zoning Map is to carry out the comprehensive planning objective of sound, stable and desirable development. While changes to the Ordinance are anticipated as the city grows, the established public policy is to amend the ordinance only when one or more of the following conditions prevail: 1) there is a manifest error in the Ordinance; 2) changing conditions in a

particular area make a change in the Ordinance necessary and desirable; 3) there is a need to increase the number of sites available to business or industry; or 4) the subdivision of land into building sites makes reclassification of the land necessary and desirable.

The site is bounded in all directions by an R-1, Single-Family Residential District. The site appears to be depicted as residential on the General Land Use Component of the Comprehensive Plan, which is meant to serve as a general guide, not a detailed lot and district plan or mandate for development. The accuracy of recommended land uses on the General Land Use Component map is limited due to the large scale of the map. Moreover, the General Land Use Component allows the Planning Commission and City Council to consider individual cases based on additional information such as the classification request, the surrounding development, the timing of the request, and the appropriateness and compatibility of the proposed use and zoning classification.

It should be noted that these requests are for a currently large, vacant, undeveloped property that has substantial frontage on a major street.

The review required for Planning Approval examines the applicant's location and site plan with regard to transportation, parking and access, public utilities and facilities, traffic congestion and hazard, and to determine if the proposal is in harmony with the orderly and appropriate development of the district.

It is very important to note that the Planning Approval review is site plan specific; therefore *any* future changes to the site plan or to the scope of operations for the assisted living facility, as approved, by current or future applicants must be submitted for Planning Approval.

The site plan appears to depict a building with three wings. The first wing is proposed to have approximately 100 beds for residents who are able to live independently. The second wing is proposed to house approximately 60 beds for residents who require some degree of assisted living. The third wing is proposed to house 20 beds for residents with dementia and require more intensive care. With a total of 180 beds, per Section 64-6-A-6 of the Zoning Ordinance, the site would be required to provide a minimum of 45 parking spaces. The submitted site plan illustrates 131 parking spaces, which provides an excess of 86 parking spaces above the required number of parking spaces. It should also be noted that this proposed development is slightly below the requirements for a traffic impact study, and if an increase in beds occurs in the future, a traffic impact study may be required.

Storm water detention may be required for the proposed development; however, no storm water detention facilities are depicted on the site plan.

It is also important to note that the proposed development will occur on three separate metes-and-bounds parcels. The applicant is aware that an application for Subdivision will be required, and will submit an application if the Zoning request is approved.

Finally, the site plan does not depict compliance with the tree and landscaping requirements of the Zoning Ordinance; however, full compliance will be required. No sidewalk is depicted along

Demetropolis Road; however, a sidewalk will be required unless an application is made for a sidewalk waiver.

RECOMMENDATION

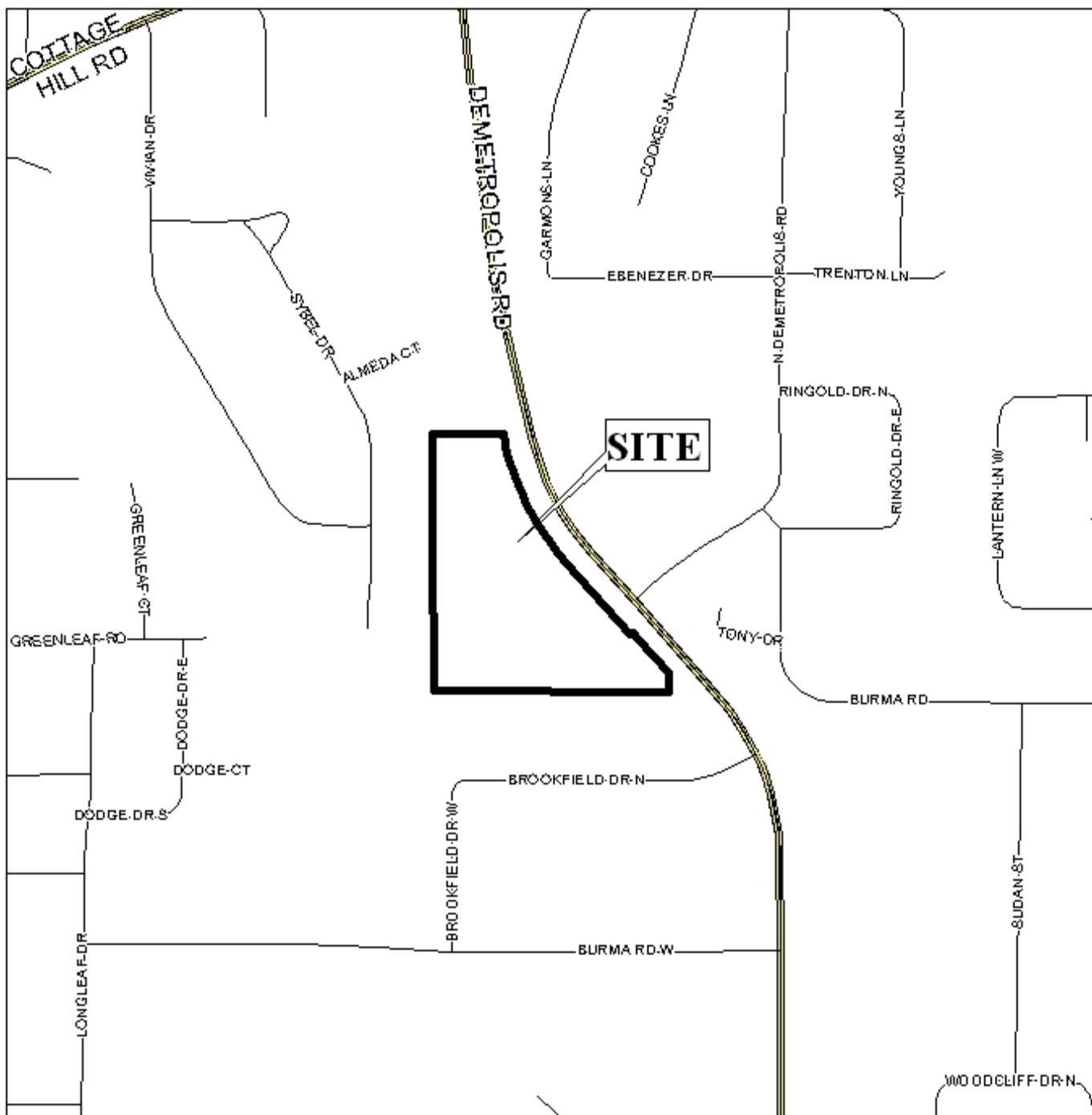
Rezoning: Based on the preceding, the request is recommended for Holdover until the July 21st meeting, with revisions due by June 23rd, so that the following items can be addressed:

- 1) justification of rezoning according to at least one of the four conditions listed in Section 64-9. of the Zoning Ordinance; and
- 2) correction of any data errors as it relates to property size depicted on the site plan.

Planning Approval: Based upon the preceding, this request is recommended for Holdover until the July 21st meeting, with revisions due by June 23rd, so that the following items can be addressed:

- 1) depiction of the general location of any on-site storm water detention;
- 2) submittal of a subdivision application to combine the three metes-and-bounds parcel and create a legal lot of record;
- 3) revision of the site plan to depict a sidewalk along Demetropolis Road, or submittal of an application for a sidewalk waiver; and
- 4) revision of the site plan to depict compliance with the tree and landscaping requirements of the Zoning Ordinance.

LOCATOR MAP



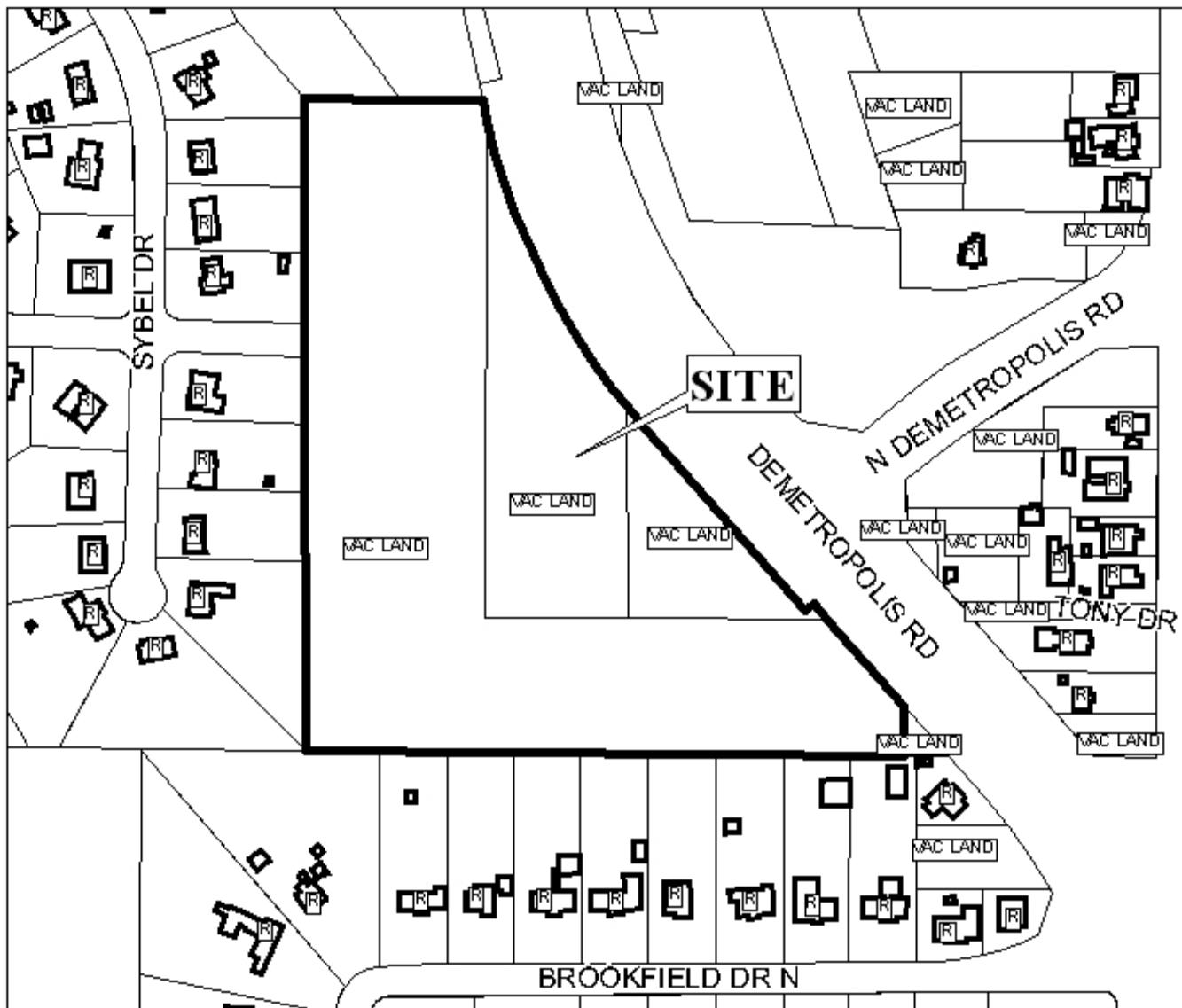
APPLICATION NUMBER 20 & 21 DATE June 16, 2011

APPLICANT Gerald T. Still

REQUEST Rezoning from R-1 to R-3, Planning Approval



**PLANNING COMMISSION
VICINITY MAP - EXISTING ZONING**



The site is surrounded by single-family residential units.

APPLICATION NUMBER 20 & 21 DATE June 16, 2011

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LEGEND

														
R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2

 NTS

**PLANNING COMMISSION
VICINITY MAP - EXISTING ZONING**



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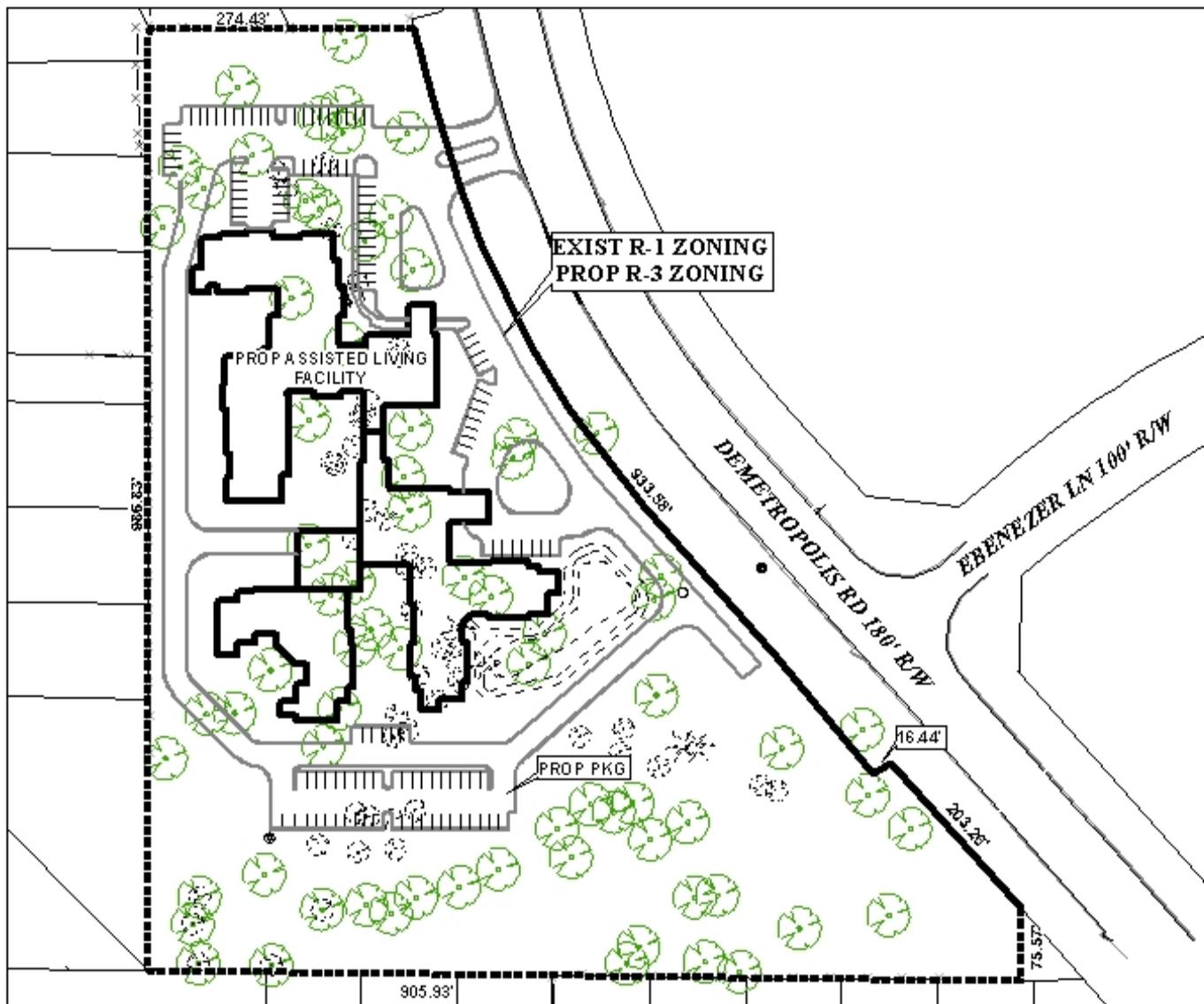
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SITE PLAN



The site plan illustrates the proposed assisted living facility.

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