

**PLANNED UNIT DEVELOPMENT  
& SUBDIVISION STAFF REPORT****Date: May 5, 2005**

<b><u>DEVELOPMENT NAME</u></b>	Heron Lakes at Skyline
<b><u>SUBDIVISION NAME</u></b>	Heron Lakes Subdivision, Phase Two, Corrected Plat, Resubdivision of and Addition to Lot 123
<b><u>LOCATION</u></b>	Northeast terminus of Blue Heron Ridge
<b><u>CITY COUNCIL DISTRICT</u></b>	District 4
<b><u>PRESENT ZONING</u></b>	R-1, Single-Family Residential District
<b><u>AREA OF PROPERTY</u></b>	35,745 square feet
<b><u>CONTEMPLATED USE</u></b>	3-lot, residential subdivision in an R-1, Single-Family Residential District, with side-yard setbacks reduced to seven (7) feet, and building site coverage increased to 45%.
<b><u>TIME SCHEDULE FOR DEVELOPMENT</u></b>	Immediate
<b><u>ENGINEERING COMMENTS</u></b>	Must comply with all stormwater and flood control ordinances. Any work performed in the right of way will require a right of way permit.
<b><u>TRAFFIC ENGINEERING COMMENTS</u></b>	Driveway number, sizes, location and design to be approved by Traffic Engineering and conform to AASHTO standards.
<b><u>URBAN FORESTRY COMMENTS</u></b>	Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).
<b><u>FIRE DEPARTMENT COMMENTS</u></b>	All commercial projects shall comply with the 2003 International Fire Code and Appendices B through G, as adopted by the City of Mobile on July 6, 2004. All One- or Two-Family residential developments shall comply with Appendices B, C, and D of the 2003 International Fire Code, as adopted by the City of Mobile on July 6, 2004.

**REMARKS**

The applicant is requesting Planned Unit Development approval to amend the existing PUD to include two additional lots and modify an existing lot, to decrease side yard setbacks to 7 feet for the three lots, and to increase the building site coverage to 45%; the minimum side yard setback in R-1, Single-Family Residential Districts is 8 feet, and the maximum building site coverage in R-1, Single-Family Residential Districts is 35%; however, as the site is part of an overall PUD, as part of PUD approval, the Ordinance allows for modified setback and building site coverage requirements. The applicant is also requesting Subdivision approval to resubdivide one existing lot and a portion of one parcel, to create three new lots.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

This application is for a lot that is part of a Planned Unit Development (PUD) that was approved on June 20, 2000, as well as for a portion of a parcel that includes golf and country club facilities. The original PUD, as amended, permitted minimum side yard setbacks of 7 feet for lots 65 feet wide or less, and it is also being requested for this application. This PUD and Subdivision application proposes a total of three lots, ranging in width from 60.03 feet to 65.04 feet. The original PUD, as amended, also permitted building site coverages up to 40%, an increase in site coverage above the standard 35% for R-1, Single-Family districts. The applicant has requested that the maximum building site coverage be increased to 45%, however, this would be 5% more than previously approved requests, and would be uncharacteristic for the Heron Lakes development. It is therefore recommended that the maximum building site coverage be limited to 40% for this application.

The proposed lot 3's depth to width ratio is approximately 4.7 (depth is 4.7 times the width of the lot at the minimum building setback line), which is greater than the 3.5 recommended in Section V.D.3. of the Subdivision Regulations. Lot 3's high depth to width ratio is due to the lot being flag-shaped in order to provide maximum frontage onto the existing golf course. Due to an existing building east of the proposed lot 3, options to reconfigure the lot are somewhat limited. Therefore, a waiver of Section V.D.3. could be considered appropriate.

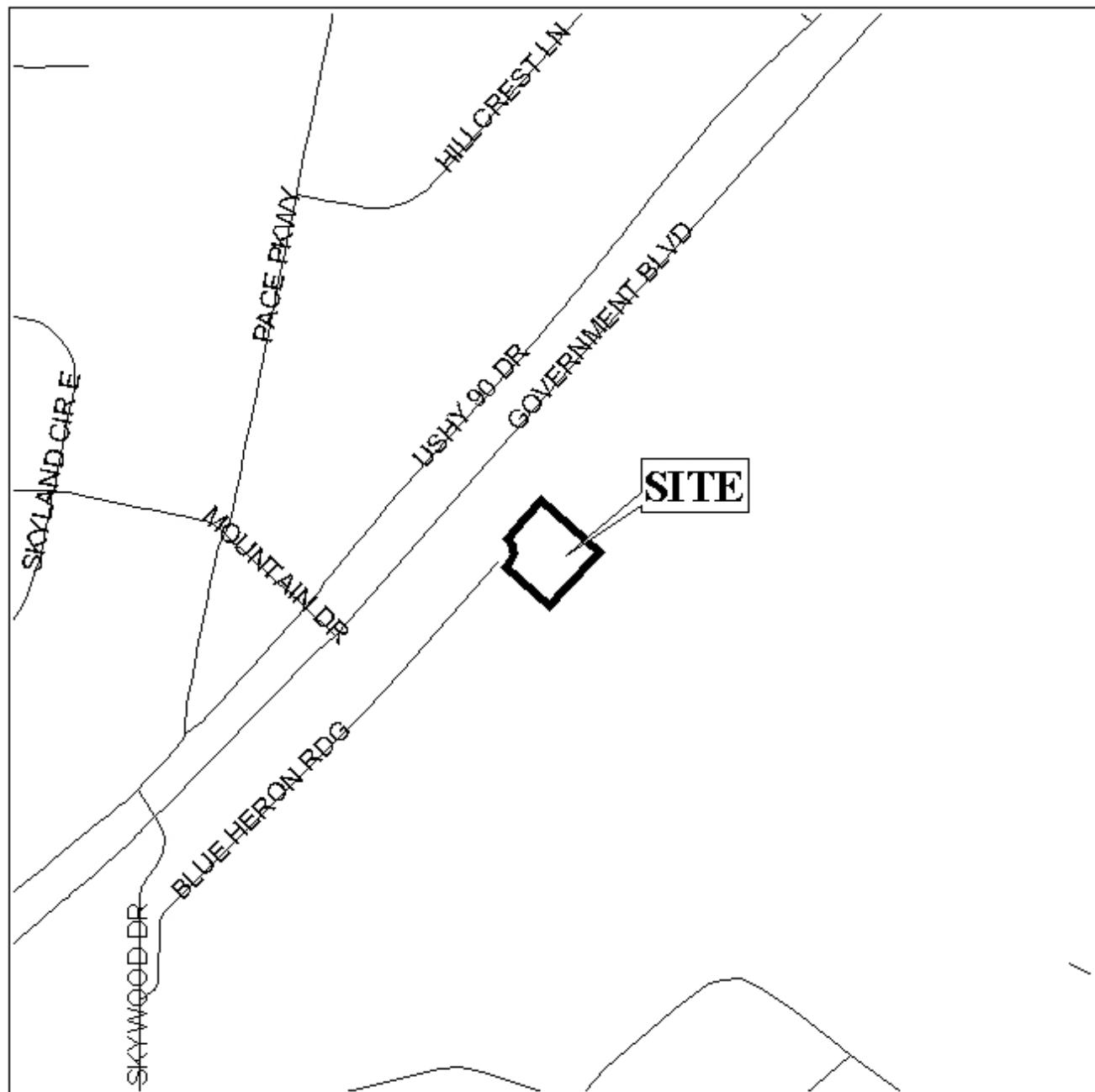
The proposal meets all other subdivision requirements, and with site coverage limited to 40%, is not anticipated to encourage development that is uncharacteristic for the Heron Lakes development, nor that would endanger the general health, safety and welfare of the community.

## **RECOMMENDATION**

**Planned Unit Development:** Based on the preceding, this application to amend the existing PUD is recommended for tentative approval, subject to the following conditions: 1) placement of a note on the final plat stating that the maximum building site coverage shall not exceed 40%; 2) graphic depiction of the approved setbacks on the plat as follows, and placement of a note on the final plat stating that the side yard setbacks shall be a minimum of 7 feet, that the front yard setbacks shall be a minimum of 25 feet, and that the rear yard setbacks shall be a minimum of 8 feet; 3) that the Engineer provide verification that the existing stormwater system, including designed and constructed detention, can accommodate the increased site coverage; and 4) full compliance with all municipal codes and ordinances.

**Subdivision:** With a waiver of Section V.D.3. of the Subdivision Regulations, the plat is recommended for tentative approval, subject to the following conditions: 1) placement of a note on the final plat stating that the maximum building site coverage shall not exceed 40%; 2) graphic depiction of the approved setbacks on the plat as follows, and placement of a note on the final plat stating that the side yard setbacks shall be a minimum of 7 feet, that the front yard setbacks shall be a minimum of 25 feet, and that the rear yard setbacks shall be a minimum of 8 feet; 3) that the Engineer provide verification that the existing stormwater system, including designed and constructed detention, can accommodate the increased site coverage; and 4) full compliance with all municipal codes and ordinances.

## LOCATOR MAP



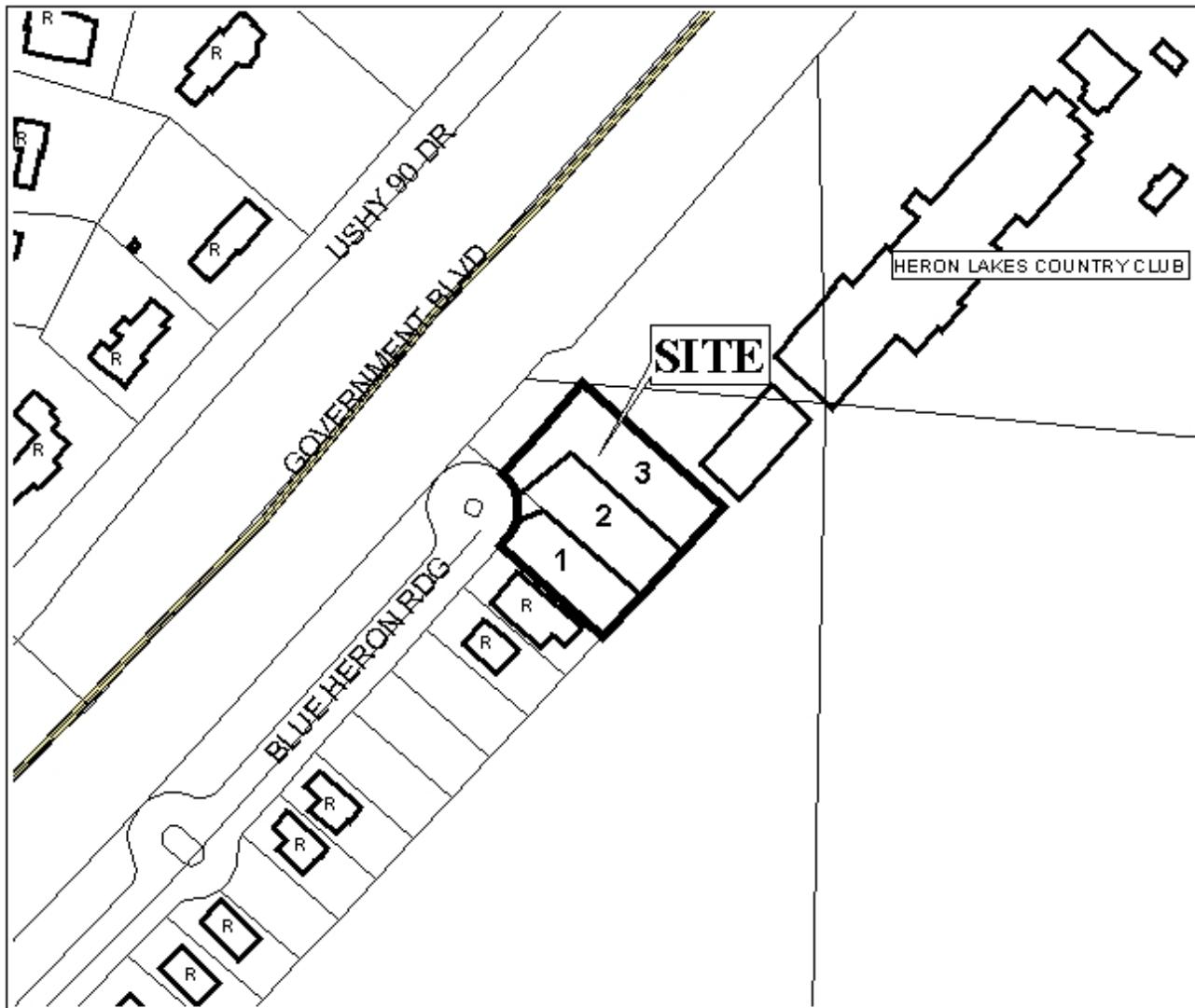
APPLICATION NUMBER 1 & 2 DATE May 5, 2005

APPLICANT Heron Lakes Subdivision, Phase Two, Corrected Plat, Resubdivision of and Addition to Lot 123

REQUEST Planned Unit Development, Subdivision

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**PLANNING COMMISSION  
VICINITY MAP - EXISTING ZONING**



Single-family residential units are located to the north and west of the site.  
A country club and golf course are located to the east and south of the site.

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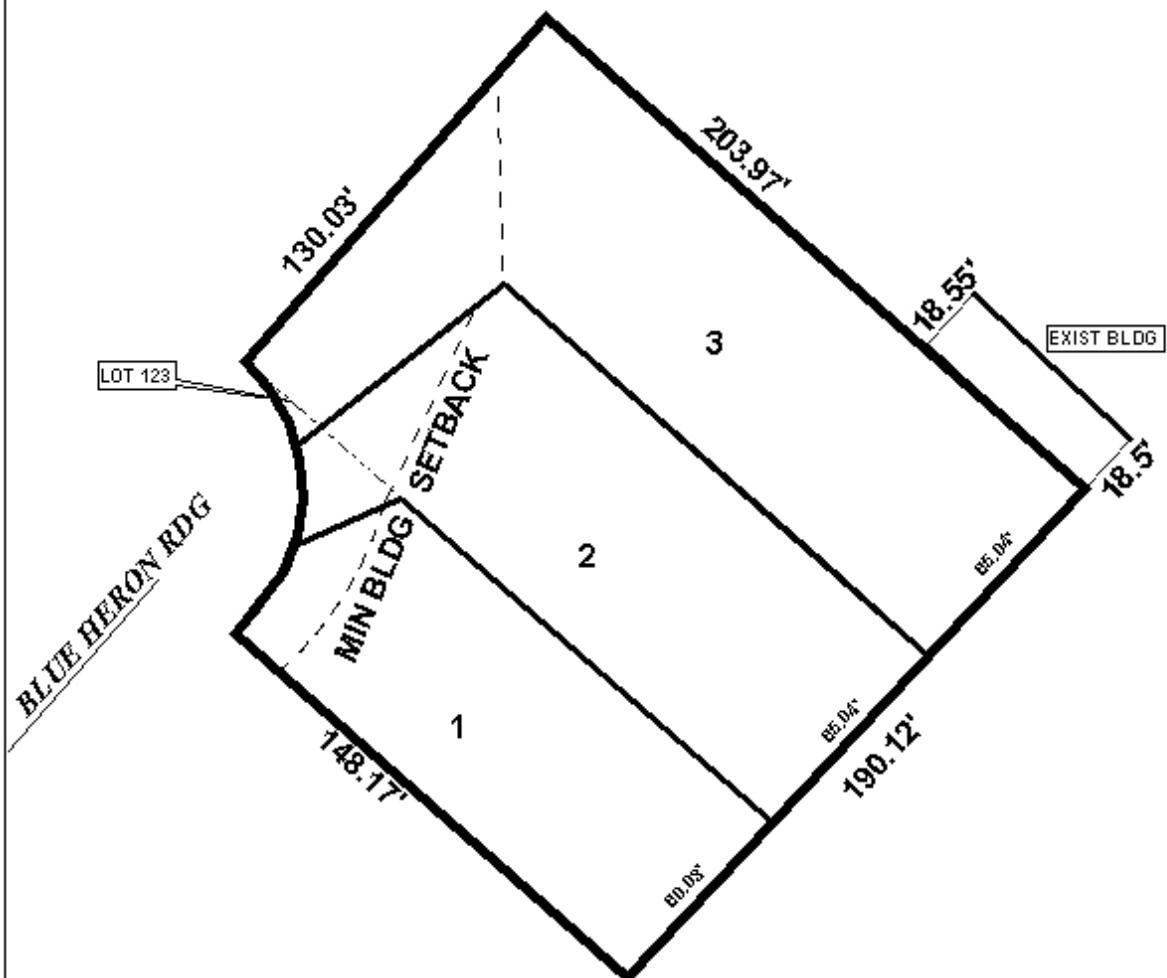
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LEGEND	R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2	NTS



# SITE PLAN

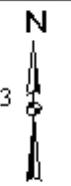


The site plan illustrates the proposed lot configuration and building setbacks

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