

Pecan Ridge Subdivision, Unit Three,
Resubdivision of Lots 1, 2, 8, 9 and a portion of Lot 10

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWWS Comments: No comments received.

The preliminary plat illustrates the proposed 4-lot, 14.2 ± acre subdivision which is located on the East side of Dawes Lane East extending to the North side of Three Notch Road, 525' ± East of Dawes Lane East. The site is within the Planning Jurisdiction and the applicant states that the proposed subdivision is served by public water and private septic systems.

The intent of this application is to create 4 legal lots of record from 4 existing lots and a portion of a 5th lot. It should be pointed out that all 4 proposed lots are irregular in shape; however, only 2 of the proposed lots will require waivers from the Planning Commission for approval.

In accordance with the Subdivision Regulations, all 4 proposed lots comply with the minimum size requirements; however, the proposed Lot D will exceed the depth-to-width ratio and will require a waiver of Section V.D.3. of the Subdivision Regulations for approval. In addition, the proposed Lot C is considered a Flag Lot. The Subdivision Regulations govern lot character and Flag Lots may be permitted by the Planning Commission if in accordance with Section V.D.1.; however, the applicant has not substantiated their request by providing justification for the creation of a Flag Lot. A waiver of Section V.D.1. would be required for approval.

Also, due to the limited frontage of the proposed Lot C, a future subdivision of the proposed lot should be prohibited until additional frontage along a public or private street is provided. A note stating this condition should be placed on the Final Plat, if approved.

It should be noted that there appears to be a discrepancy in the bearing of the eastern property line of the proposed Lot C. The legal descriptions states that the boundary line runs S00°04'36"W; however, the preliminary plat depicts the property line running N00°04'36"E. If approved, the Final Plat should be revised to illustrate the correct bearings of the eastern property line.

There appears to be several 7.5' utility easements on the site. If approved, a note should be placed on the Final Plat stating that no permanent structures shall be constructed in any easement.

It should be pointed out that a 100' minimum building setback line is illustrated for the proposed Lots A, B, and D where there is frontage along Dawes Lane East. Since the proposed Lot C is considered a Flag Lot, the 25' minimum building setback line should be revised and illustrated as a box where the lot is at least 60 feet wide, which is where the "Flag" meets the "Pole" of the lot, if approved. The side yard and rear setbacks for the proposed Lots A, B, and C are depicted as 25'; however, the proposed Lot D is depicted with a 10' side yard and rear setback. It should be noted that the Subdivision Regulations do not require any side yard or rear yard setbacks.

The lot size information is depicted for all 4 proposed lots and should be retained on the Final Plat along with all setbacks, if approved.

The proposed Lots A, B, and D front Dawes Lane East, a minor street with a compliant right-of-way for minor streets with no curb-and-gutter and as a result, no dedication is required. The proposed Lot C has frontage along Three Notch Road, a future major street, as defined by the Major Street Plan. The preliminary plat depicts an existing right-of-way of 90'; however, in compliance with the Major Street Plan component of the Comprehensive Plan, the minimum right-of-way should be 100'. As a result, dedication to provide 50' as measured from the centerline of Three Notch Road is required and should be illustrated on the Final Plat, if approved. The lot size information for the proposed Lot C should also be revised on the Final Plat to reflect dedication, if approved.

Access management may be a concern for the proposed Lot C as it fronts Three Notch Road. Typically, each lot is allowed its own curb-cut; however, within 65' ± directly East of the location where a proposed curb-cut would be allowed, there are 2 existing curb-cuts for the 2 adjacent lots. An additional curb-cut to that section of road may cause access management issues as there would be 3 curb-cuts within 65' ± of each other on the same side of the street.

Lots A and B have one existing curb-cut each along Dawes Lane East. As a means of access management, if approved, notes should be placed on the Final Plat stating that Lots A and B should be limited to the existing curb-cuts, Lot D should be limited to one curb-cut along Dawes Lane East, and Lot C should be limited to one curb-cut along Three Notch Road with the size, design and location of the additional curb-cuts along with any changes to the existing curb-cuts to be approved by Mobile County Engineering and comply with AASHTO standards.

It should be noted that GIS data indicates the presence of wetlands on the eastern portion of the proposed Lot A. The existence of wetlands would indicate that the area may be environmentally sensitive; therefore, if approved, any development of the site must comply with local, state and federal regulations regarding wetlands. A note regarding this requirement should appear on the Final Plat, if approved.

This site is located in the County, and therefore any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8.

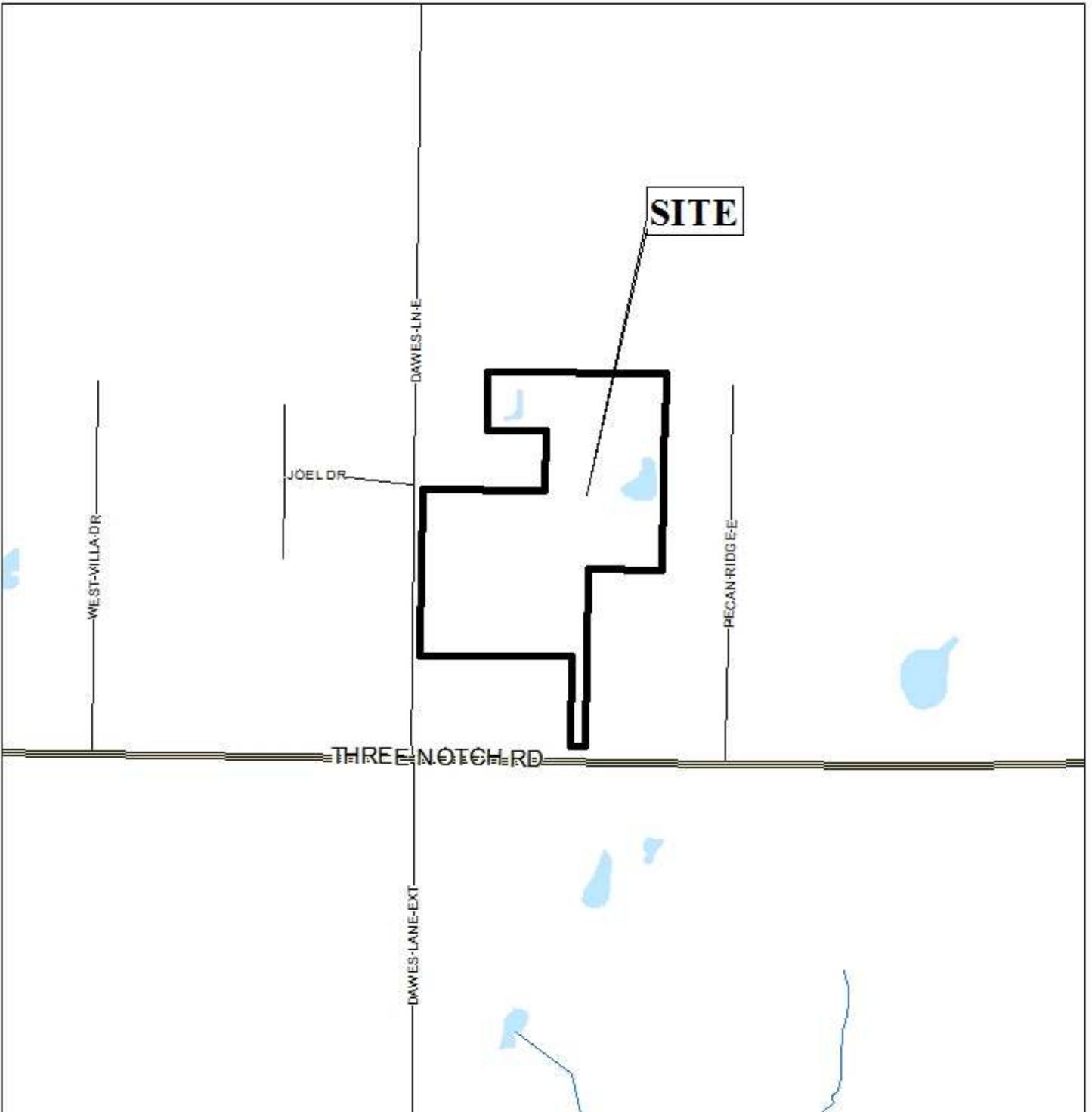
of the Subdivision Regulations. A note regarding this requirement should appear on the Final Plat, if approved.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species. If approved, this note should appear on the Final Plat to reflect this requirement.

Based on the preceding, the application is recommended for denial for the following reason:

- 1) The applicant has not provided justification for the creation of a Flag Lot as required by Section V.D.1. of the Subdivision Regulations.

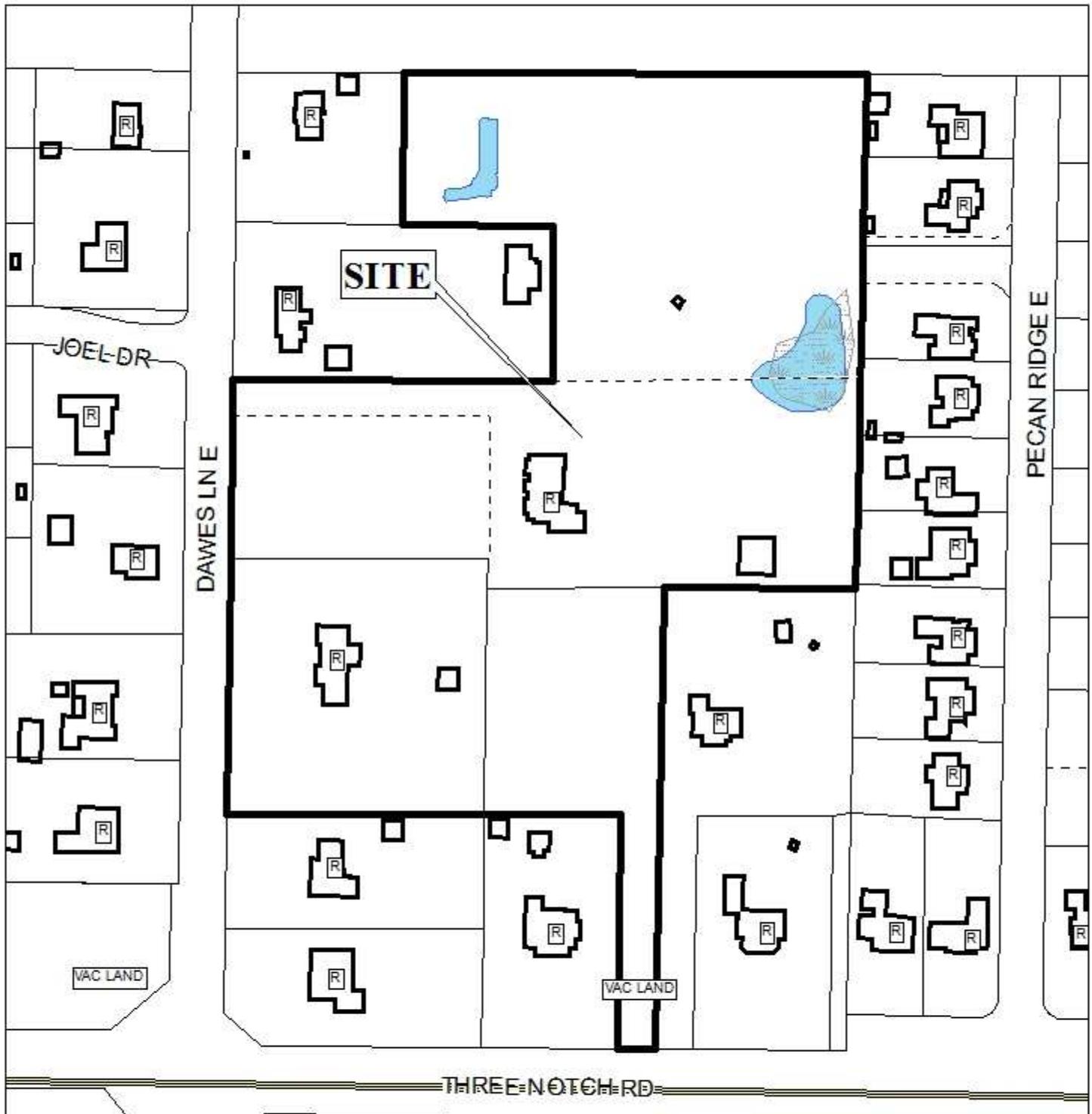
LOCATOR MAP



APPLICATION NUMBER 9 DATE October 17, 2013
APPLICANT Pecan Ridge Subdivision, Unit Three, Resubdivision of Lots 1, 2, 8, 9 and a portion of Lot 10
REQUEST Subdivision



**PECAN RIDGE SUBDIVISION, UNIT THREE, RESUBDIVISION OF
LOTS 1, 2, 8, 9 AND A PORTION OF LOT 10**



APPLICATION NUMBER 9 DATE October 17, 2013

LEGEND															
	R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



**PECAN RIDGE SUBDIVISION, UNIT THREE, RESUBDIVISION OF
LOTS 1, 2, 8, 9 AND A PORTION OF LOT 10**

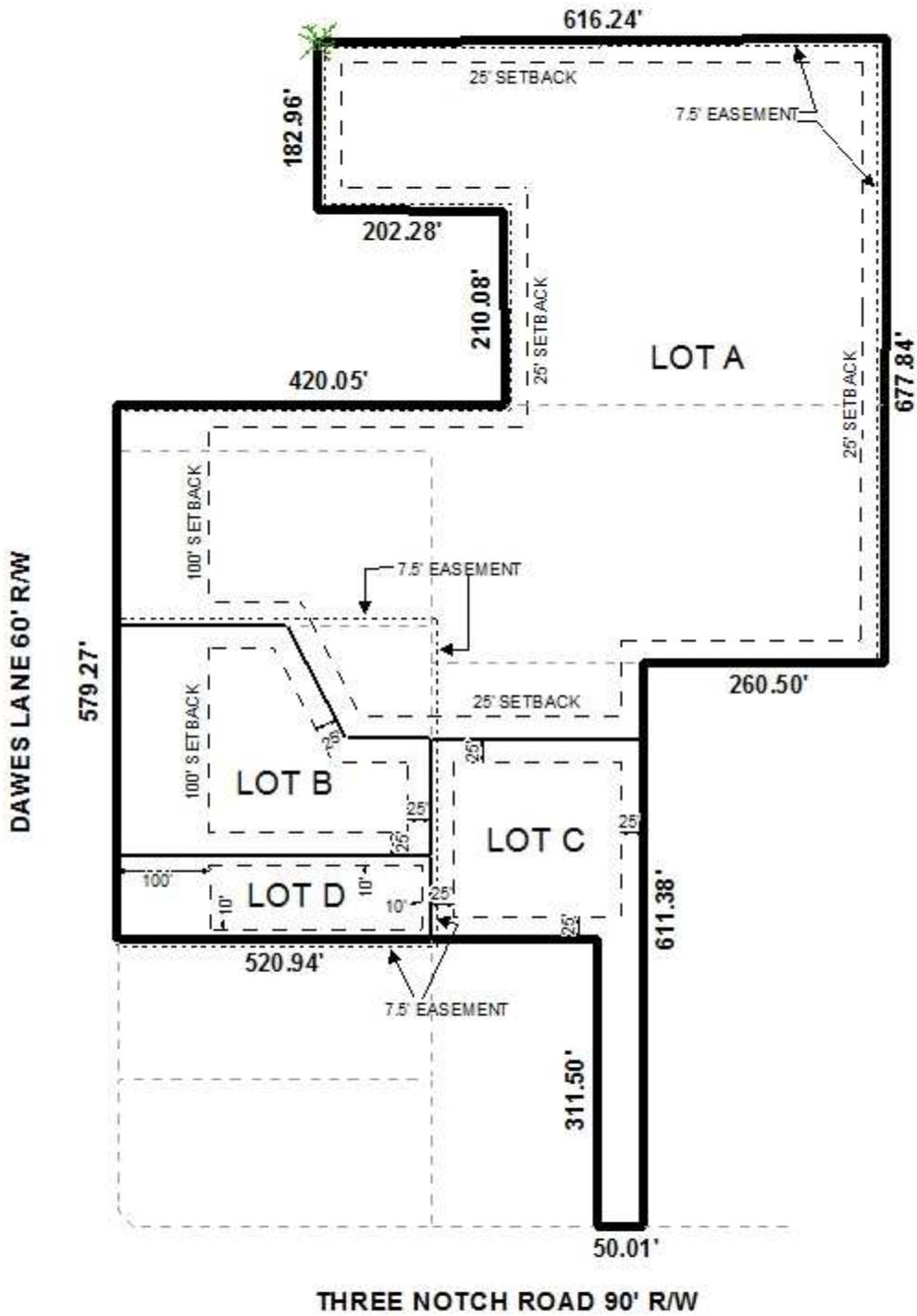


APPLICATION NUMBER 9 DATE October 17, 2013

LEGEND															
	R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



DETAIL SITE PLAN



APPLICATION NUMBER 9 DATE October 17, 2013
 APPLICANT Pecan Ridge Subdivision, Unit Three, Resubdivision of Lots 1, 2, 8, 9 and a portion of Lot 10
 REQUEST Subdivision

