

OAKSTONE SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance.

The plat illustrates the proposed 57 lot, 32.6 ± acre subdivision which is located at the southeast corner of Laurendine Road and Lancaster Road. The subdivision is served by public water and individual septic systems.

The purpose of this application is to create a 57-lot subdivision from one parcel.

This site was the subject of a 51-lot subdivision application that was approved by the Planning Commission at its May 19, 2005 meeting, subject to the following conditions:

- 1) placement of a note on the final plat stating that the number, location and design of traffic calming devices are to be approved by the Mobile County Engineering Department;
- 2) placement of a note on the final plat stating that the maintenance of common areas and the detention pond is the responsibility of the subdivision's property owners;
- 3) the dedication of an additional 10-feet along the site's Laurendine Road frontage;
- 4) placement of a note on the final plat stating that Lot 1 is restricted to access only onto Lancaster Road, that lot 48 is permitted one curb cut onto Laurendine Road, and that lot 49 is limited to a maximum of two curb cuts, with the size, location and design of all proposed curb cuts to be approved by the Mobile County Engineering Department;
- 5) correction of all written and depicted dimensions and bearings in the Legal Description and on the plat;
- 6) placement of a note on the plat stating that Lots 1, 6, 7, and 25 side street setback be reduced to 20-foot as a oppose to 25-foot as required in the Subdivision Regulations;
- 7) placement of a note on the final plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations;
- 8) dedication and construction of roads to Mobile County standards; and
- 9) approval of all applicable federal, state and local agencies would be required prior to the issuance of any permits.

The site fronts onto Lancaster Road and Laurendine Road. Lancaster Road is a minor street, and the existing right-of-way meets the minimum width requirements for minor streets. Laurendine Road, with an existing right-of-way of 80 feet, is a proposed major street, and as such its right-of-way should be 100-feet wide according to the Major Street Plan. Therefore, the dedication of an additional 10-feet, which is depicted on the preliminary plat, should be required along the site's Laurendine Road frontage.

As Laurendine Road is a proposed major street, access management is a concern. The subdivision, as currently designed, depicts lots 1, and 53 through 57 as having frontage on Laurendine Road. Lot 1 also fronts Lancaster Road, thus it should be restricted to having access

only onto Lancaster Road in order to prevent an additional curb cut onto Laurendine Road. Lots 53 through 57 should also be limited in their access to Laurendine Road; lots 53 through 56 should be limited to one curb cut each onto Laurendine Road, while lot 57, due to its 240-foot ± frontage on Laurendine Road, should be limited to a maximum of two curb cuts. The size, design, and location of all proposed curb cuts onto Lancaster and Laurendine Road must be reviewed and approved by the Mobile County Engineering Department.

Oakstone Drive is designed to serve up to 45 lots, and includes one traffic calming device, approximately 850 feet from the entrance at Lancaster Road, and a partial cul-de-sac at its Eastern-most point, before turning South to stub into the property to the South. The landscaped traffic island areas within the traffic calming device and the partial cul-de-sac should be labeled as common areas, and a note should be placed on the Final Plat, if approved, stating that maintenance of the common areas is the responsibility of the subdivision's property owners. Furthermore, the number, location, and design of all traffic calming devices is to be reviewed and approved by the Mobile County Engineering Department.

A detention pond is depicted between lots 29, 30 and 31, with access provided from Oakstone Drive between lots 29 and 31. A note should be placed on the Final Plat, if approved, stating that maintenance of the detention basin common area is the responsibility of the subdivision's property owners.

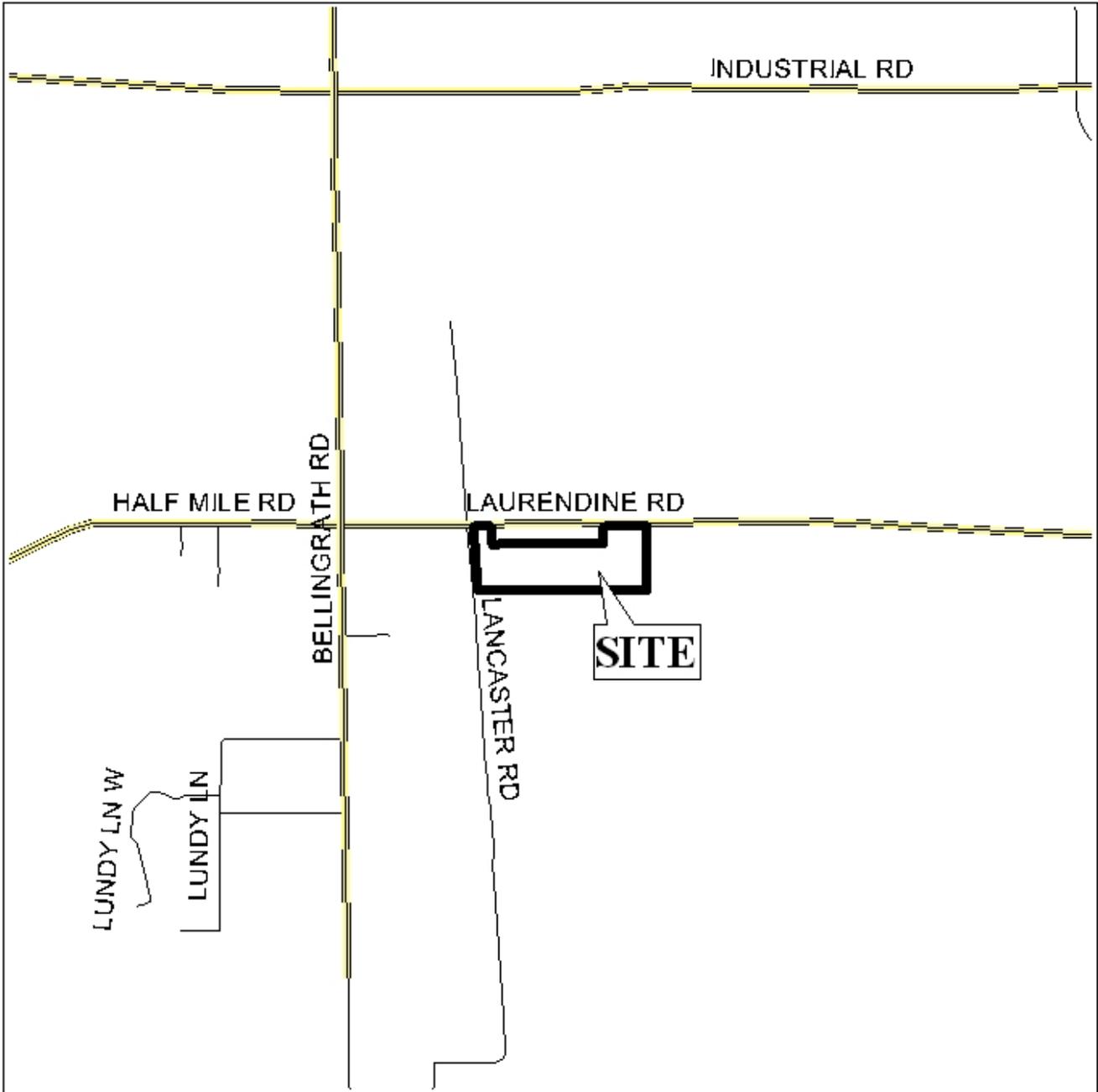
The applicant is requesting that the 25-foot minimum building setback line be modified for Lots 1, 6, 7 and 26, which are proposed corner lots. The applicant is requesting that for these lots, the "side yard" setback from the street be 20 feet instead of 25 feet, with the front yard setback for all lots remaining 25 feet. A similar request for reduced setbacks, as part of the previous application, was approved by the Planning Commission, however, the Subdivision Regulations require a 25-foot minimum building setback line from all road frontages. Due to the requirements of the Subdivision Regulations, any changes to the required minimum building setback lines must be addressed by the Planning Commission instead of staff. All setback lines must be depicted on the Final Plat, if approved.

This site is located in Mobile County, thus a note should be placed on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

The eastern portion of the site appears to be within the FEMA designated "100-year" floodplain of Muddy Creek, and wetlands associated with the creek may occur on a portion of the site. According to County Engineering staff, it appears that no detailed floodplain or floodway determination has been made for this site, therefore, a study may be required. The presence of wetlands and floodplains indicate that the area may be environmentally sensitive; therefore, the approval of all applicable federal, state and local agencies would be required prior to the issuance of any permits or commencement of any land disturbing. It should also be noted that detention ponds cannot be located within the 100-year floodplain, therefore the applicant should consult the Mobile County Engineering staff to ensure that the detention pond is appropriately located.

Based upon the proceeding, the plat is recommended for Tentative Approval, subject to the following conditions: 1) the dedication of 10-feet along the site's Laurendine Road frontage, as depicted on the preliminary plat; 2) placement of a note on the Final Plat stating that Lot 1 is restricted to access only onto Lancaster Road, lots 53 through 56 are limited to one curb cut each onto Laurendine Road, and lot 57 is limited to a maximum of two curb cuts, with the size, location and design of all proposed curb cuts to be approved by the Mobile County Engineering Department; 3) placement of a note on the Final Plat stating that traffic calming devices are to be provided, as approved by the Mobile County Engineering Department; 4) labeling of traffic calming device landscape areas as common areas; 5) placement of a note on the Final Plat stating that the maintenance of common areas and the detention pond is the responsibility of the subdivision's property owners; 6) depiction and labeling of the minimum building setback line from the dedicated rights-of-way, with a waiver of Section V.D.9. to allow "side yard" setbacks of 20 feet for proposed Lots 1, 6, 7 and 26, and 25 feet for all other lots and the "front yards" of Lots 1,6,7 and 26; 7) placement of a note on the final plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations; 8) dedication and construction of roads to Mobile County standards; 9) approval of all applicable federal, state and local agencies required prior to the issuance of any permits or land disturbance; and 10) verification with Mobile County Engineering Department that proposed detention pond is located outside of the 100-year floodplain.

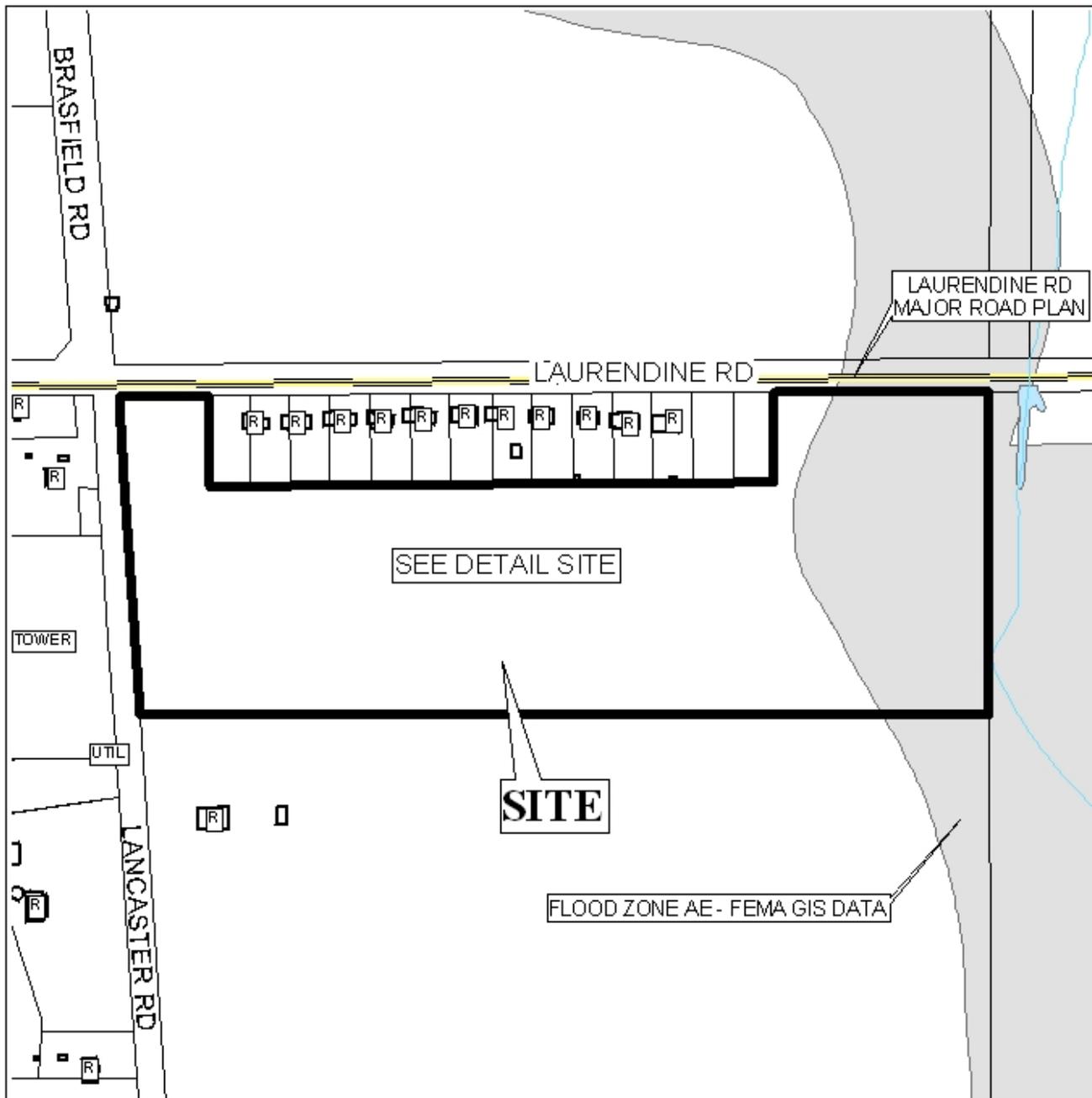
LOCATOR MAP



APPLICATION NUMBER 19 DATE April 6, 2006
APPLICANT Oakstone Subdivision
REQUEST Subdivision



OAKSTONE SUBDIVISION



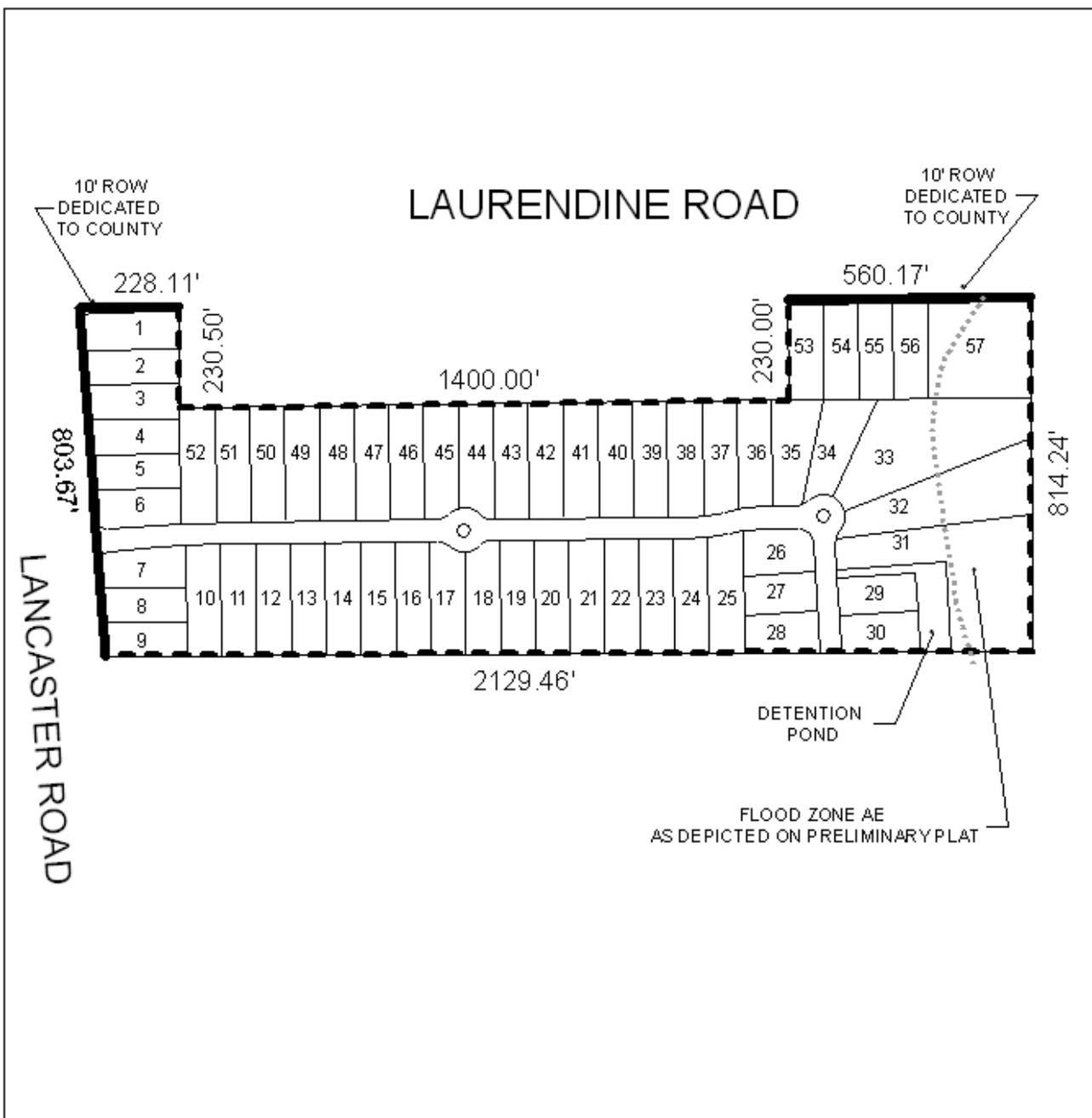
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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



DETAIL SITE PLAN



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