

**SIDEWALK WAIVER REQUEST  
STAFF REPORT**

**Date: May 17, 2007**

**NAME** Motors Acceptance Corporation

**LOCATION** South side of Government Boulevard, 285'± East of MacMae Drive

**PRESENT ZONING** B-3, Community Business District

**ENGINEERING**

**COMMENTS** Based on plan provided by applicant, it is not desirable to encourage pedestrian traffic dead-ending into drainage canal.

**URBAN FORESTRY**

**COMMENTS** Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

**REMARKS**

The applicant is requesting the waiver of the construction of a sidewalk along Government Boulevard.

Government Boulevard is a US Highway, with two travel lanes in each direction, a landscaped median with turn lanes, and with two lane service roads on each side of the right-of-way. Traffic counts from 2006 show approximately 20,600 vehicles per day on average.

The applicant states that *“the site is fronted by a service road which dead ends at Bolton Branch. A barricade is in place to protect traffic from Bolton’s Branch. There are no other sidewalks in the immediate area and the construction of one would be an invitation for a serious accident to happen, should someone walk, jog or ride a bike into Bolton’s Branch which is a rather deep channel. A sidewalk could be physically constructed but the potential for disaster far outweighs any benefits of a sidewalk dead-ending in a deep drainage ditch.”*

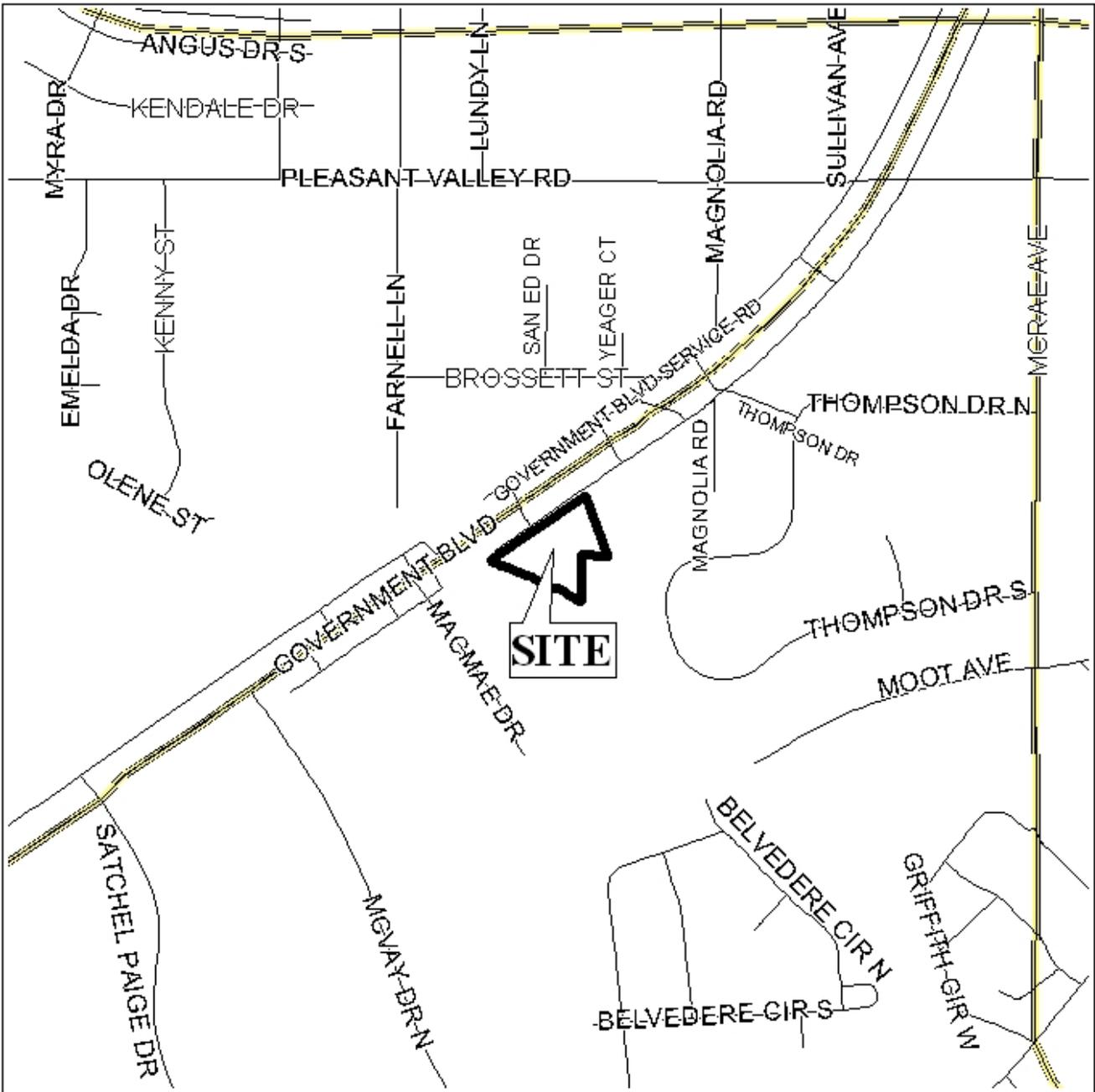
As stated by the applicant, the sidewalk can be built because there are no physical constraints. However, Bolton’s Branch, a tributary of Dog River, does create a significant physical impediment between the site and the nearest existing sidewalk located approximately 340 feet to the Southwest of the site. The nearest sidewalk to the East is approximately 1,600 feet away. There are no sidewalks near the site on the North side of Government Boulevard. There is no public transit service on this portion of Government Boulevard.

Provision of a sidewalk would be relevant if the service road continued across Bolton’s Branch, however, the staff is not aware of any plans to construct this portion of the service road in the near future. Thus the sidewalk, while desirable, might be premature at this location at this time.

**RECOMMENDATION**

Based upon the preceding, this application for waiver of the sidewalk is recommended for Approval.

# LOCATOR MAP



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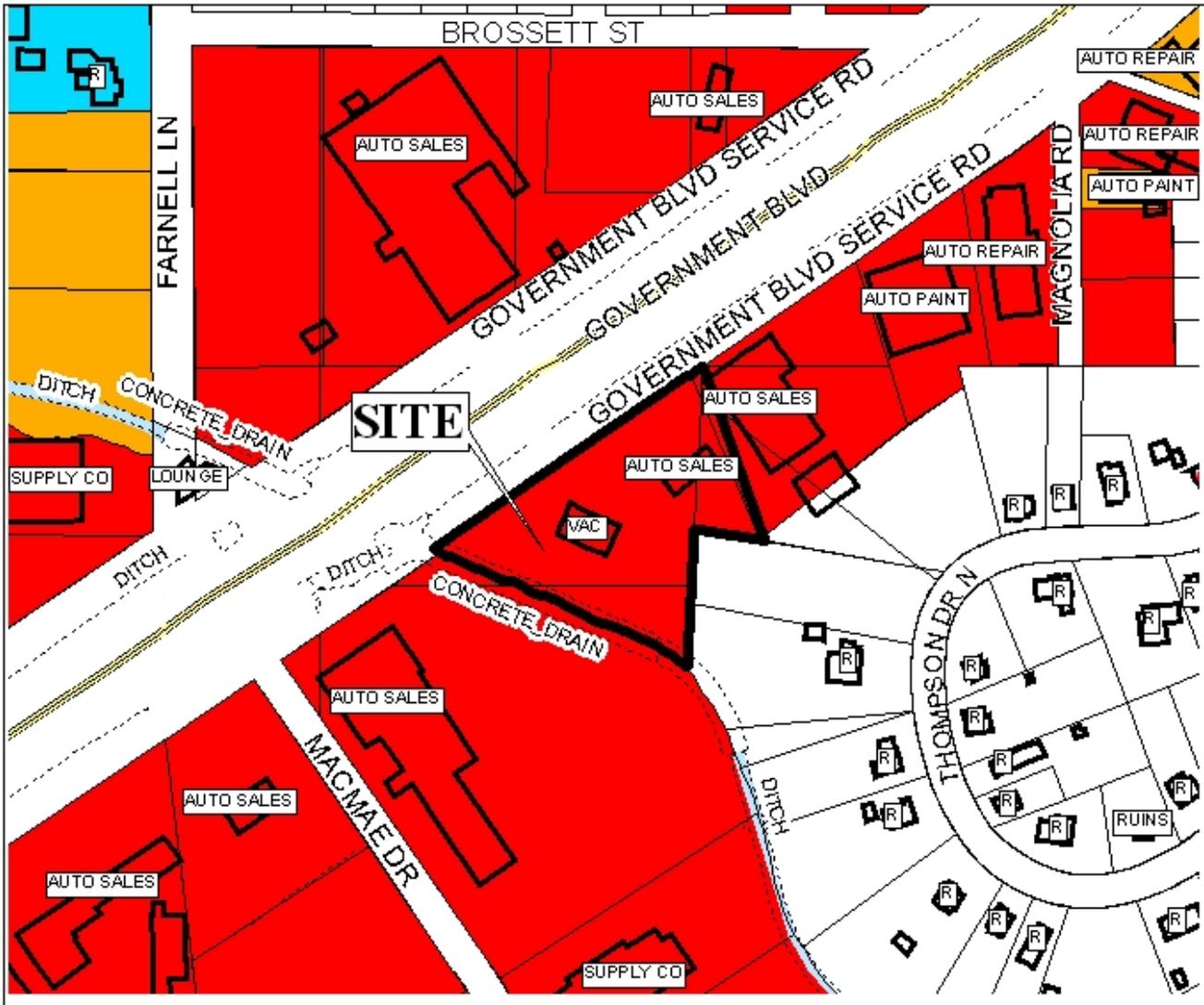
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# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



There are single family residential units to the southeast of the site and auto sales to the southwest, north and northeast.

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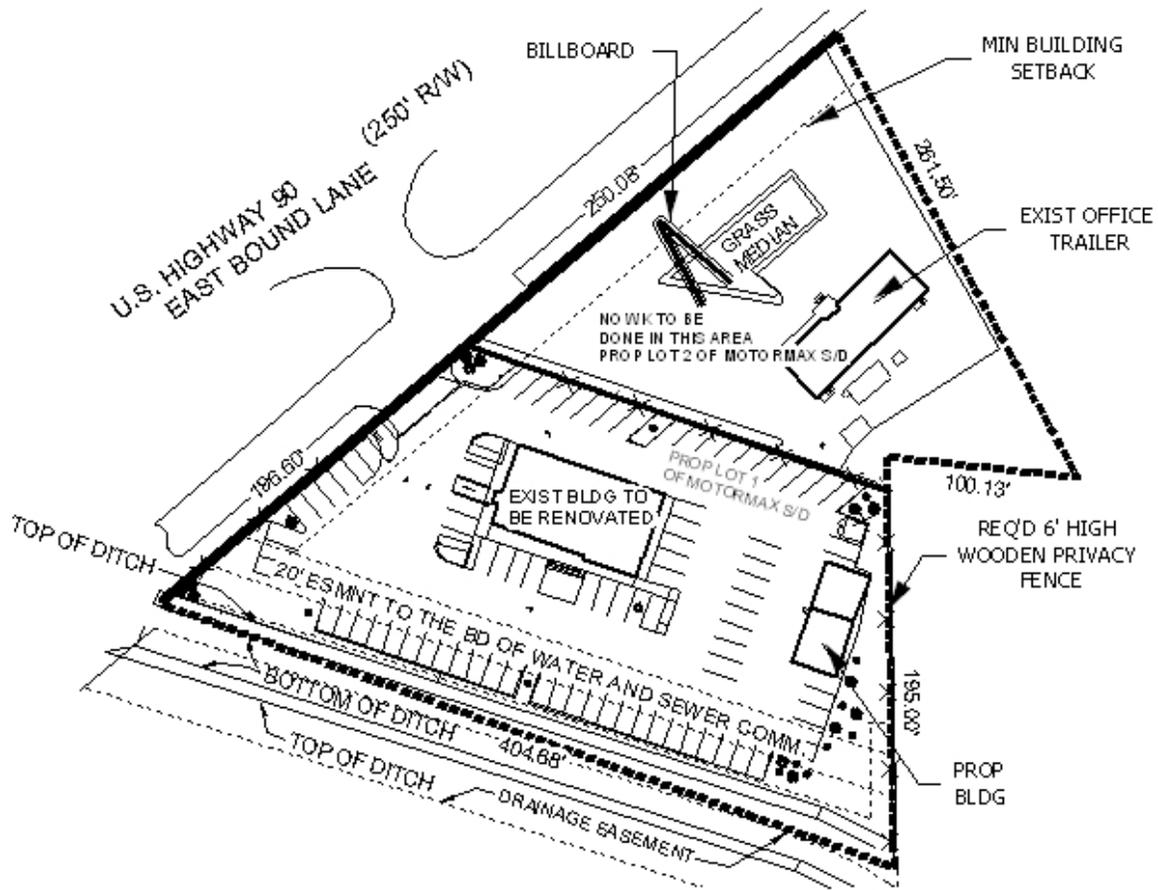
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LEGEND               NTS

R-1   R-2   R-3   R-A   R-B   H-B   B-1   LB-2   B-2   B-3   B-4   B-5   I-1   I-2

# SITE PLAN



The site plan illustrates existing and proposed buildings, easements, setbacks and fences.

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