

**ZONING AMENDMENT &
SUBDIVISION STAFF REPORT**

Date: August 17, 2006

<u>NAME</u>	Scott Cassidy
<u>SUBDIVISION NAME</u>	Greenfield Acres Subdivision, Resubdivision of Lots 6 & 7
<u>LOCATION</u>	4521 and 4819 Colgate Drive (Northeast corner of Rangeline Service Road and Colgate Drive)
<u>CITY COUNCIL DISTRICT</u>	District 4
<u>PRESENT ZONING</u>	R-1, Single Family Residential
<u>PROPOSED ZONING</u>	I-1, Light Industry
<u>AREA OF PROPERTY</u>	1.1± Acre
<u>CONTEMPLATED USE</u>	Construction company with outside storage It should be noted, however, that any use permitted in the proposed district would be allowed at this location if the zoning is changed. Furthermore, the Planning Commission may consider zoning classifications other than that sought by the applicant for this property.
<u>REASON FOR REZONING</u>	Since the annexation of this area the commercial uses remained within the R-1, Single-Family designation. However, adjacent property to the North has been continuously used as a trucking company.
<u>TIME SCHEDULE FOR DEVELOPMENT</u>	None given
<u>ENGINEERING COMMENTS</u>	Must comply with all stormwater and flood control ordinances. Any work performed in the right of way will require a right of way permit. The applicant is responsible for verifying if the site contains wetlands. The site can be checked against the National Wetlands Inventory on the COM web site Environmental Viewer. If the site is included on the NWI, it is the applicant's responsibility to confirm or deny the existence of regulatory wetlands.

TRAFFIC ENGINEERING

COMMENTS

Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

URBAN FORESTRY

COMMENTS

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

REMARKS

The applicant is proposing to rezone the site from R-1, Single Family Residential, to I-1, Light Industry and to create a one-lot subdivision from two lots of record; to allow development of a construction company with outside storage.

The applicant requests that the two, R-1 zoned, lots be rezoned to be included in the one-lot subdivision for the construction company offices and outside storage of construction equipment.

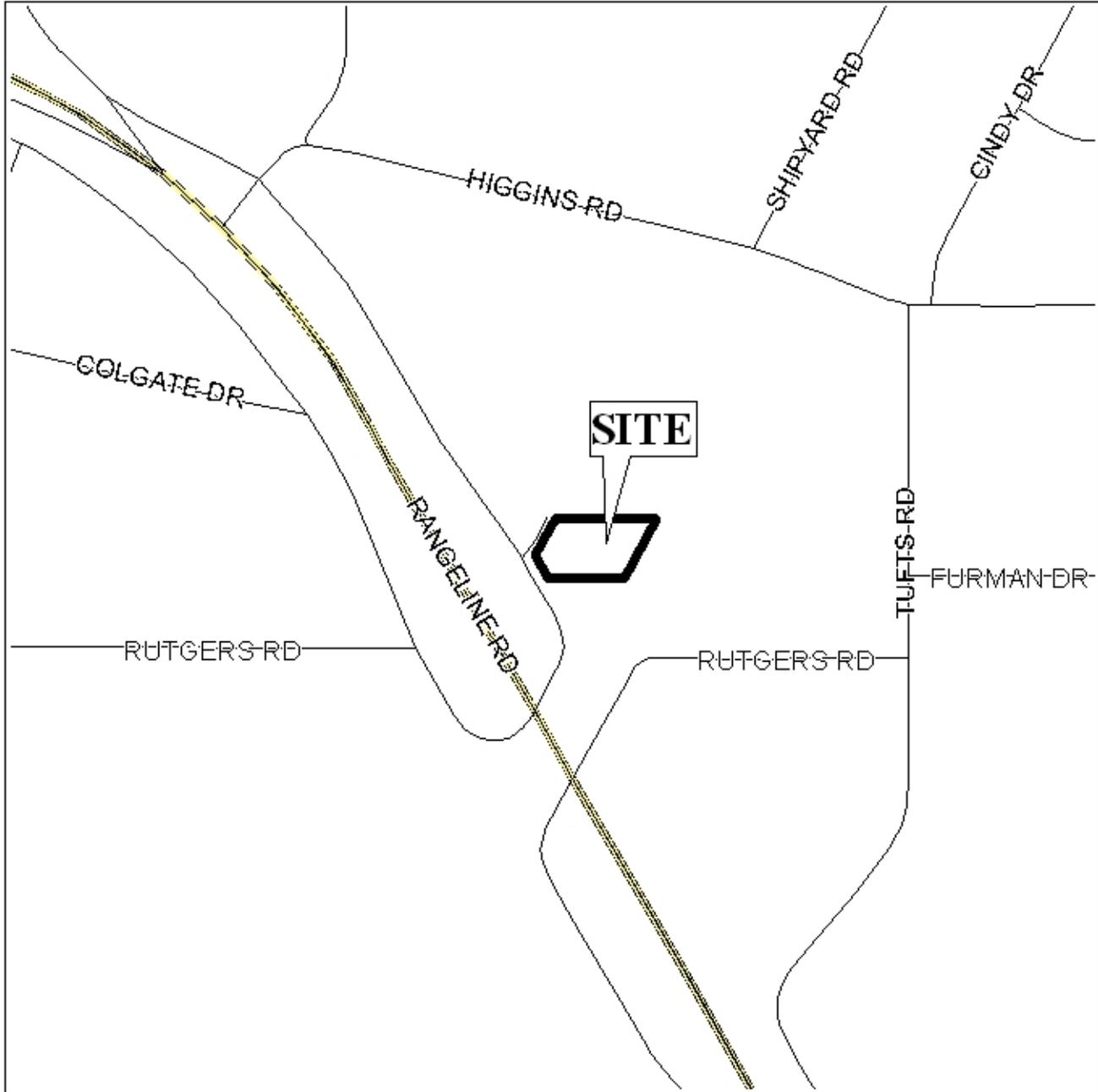
The site fronts Rangeline Road, a major street with a variable right-of-way, and Colgate Drive, with a 50-foot right-of-way. The preliminary plat indicates limited access (81-feet) to Rangeline Service Road and access to Colgate Drive; however, it does illustrate existing curb-cuts onto Colgate Drive. Since the development pattern would be unchanged from the existing subdivision, it would seem that the development of the site as commercial be similar; therefore, the conditions concerning access would be similar. Therefore, access to Rangeline Service Road should be denied; and the development should be allowed one curb-cut to Colgate Drive, exact size, location and design to be approved by the Traffic Engineering Department.

Regarding the proposed subdivision, the site would meet the minimum requirements of the Subdivision Regulations. The building setback lines are not shown and would be required on the final plat, with 25-foot setbacks from both Rangeline Road and Colgate Drive.

The site plan illustrates a 1,325 square-foot building, which requires 5 parking spaces, as illustrated on the site plan. Whereas the applicant provides the minimum required parking spaces for the building, but does not allow for warehouse or storage yard employees. Also while adequate area for maneuvering of vehicles within the yard by delivery vehicles may exist, it is required to be paved. No such facilities are reflected on the plan submitted. Finally, the site plan does not illustrate the required landscaping and tree planting requirements of the Ordinance, but does appear to provide adequate space for it. Therefore, revisions to the site plan would need to address parking, maneuvering, circulation, and landscaping and tree planting requirements. While rezoning would not be site specific, the applicant should be aware that these requirements could limit the size of the development that could be approved at this site.

This area is shown on the General Land Use component of the Comprehensive Plan as residential. However, the Comprehensive Plan is meant to be a general guide, not a detailed lot and district plan or mandate for development. The Planning Commission and City Council may consider individual cases based on additional information such as the classification requested, the surrounding development, the timing of the request and the appropriateness and compatibility of the proposed use and zoning classification.

LOCATOR MAP



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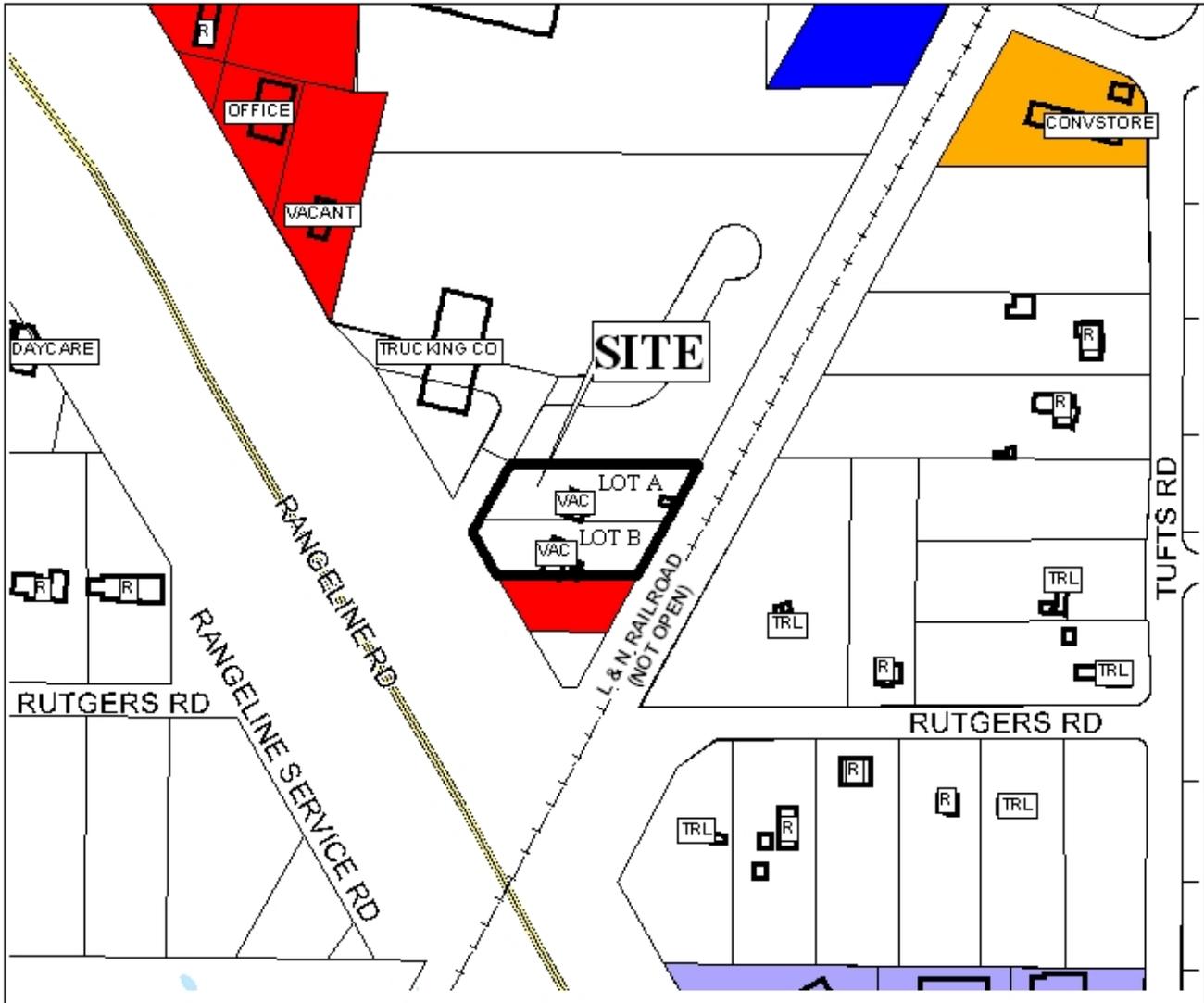
APPLICANT Scott Cassidy

REQUEST Subdivision, Rezoning from R-1 to I-1



NTS

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



This site is surrounded by mixed land use.

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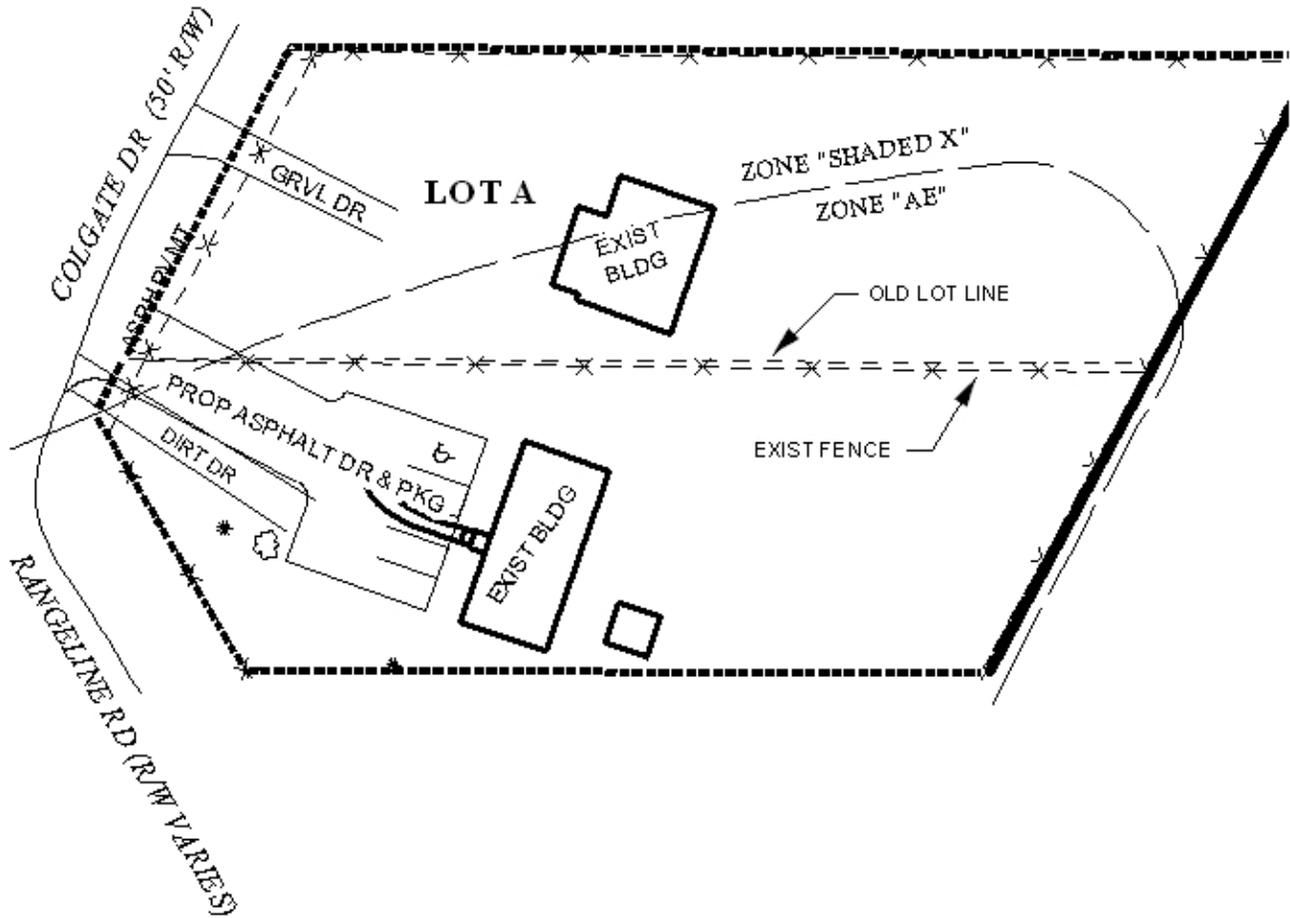
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LEGEND R-1 R-2 R-3 R-A R-B H-B B-1 LB-2 B-2 B-3 B-4 B-5 I-1 I-2 NTS



SITE PLAN



The site plan illustrates existing buildings, fences, drives, and proposed drive and parking.

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