

ASHBEE PLACE SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance.

The plat illustrates the proposed 5 lot, 8.4 ± acres subdivision which is located on the North side of Wulff Road South at the North terminus of Roberts Lane. The subdivision is served by public water and individual septic systems.

The purpose of this application is to create a five-lot subdivision from a metes and bounds parcel.

The site fronts Wulff Road South, a planned major street, which has an existing right-of-way shown of 80-feet; the Major Street Plan requires a 100-foot right-of-way. Therefore, the dedication of adequate right-of-way to provide 50-feet from the centerline of Wulff Road South should be required. Additionally, as a means of access management, Lots 1 and 2 should be limited to one shared curb cut to Wulff Road South, Lots 3 and 4 should be limited to one shared curb cut to Wulff Road South, and Lot 5 limited to one curb cut to Wulff Road South, with the size, location and design to be approved by County Engineering, should be required.

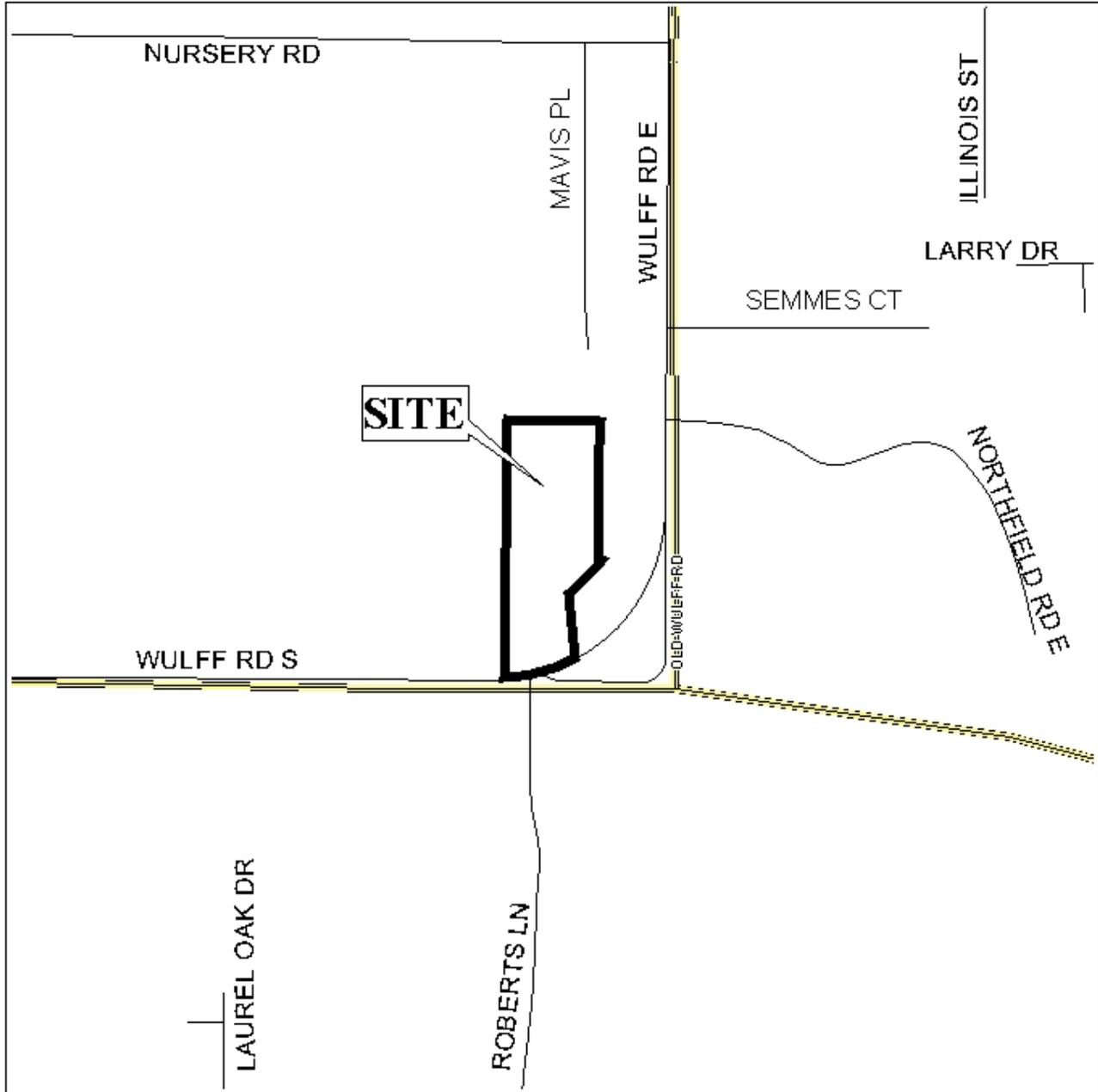
As proposed, Lot 5 would exceed the maximum width to depth ratio of the Subdivision Regulations; therefore, a waiver of Section V.D.3. would be required. Also, with only 25' of frontage and access as proposed, future resubdivision of lot 5 would not be possible. Reconfiguration of the lots to provide a minimum access strip of 50' (with appropriate radii) for Lot 5 would be appropriate. This reconfiguration would not only allow for future resubdivision, but could allay concerns relating to the "flag" shape of Lot 5.

This site is located in the County, thus a note should be placed on the final plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

The 25-foot minimum building setback lines are not shown, but would be required on the final plat.

With modifications and a waiver of Section V.D.3. (width to depth ratio), the plat will meet the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval subject to the following conditions: 1) the dedication of sufficient right-of-way to provide 50-feet from the centerline of Wulff Road South; 2) reconfiguration of the lots to provide a minimum access strip of 50' for Lot 5 (with appropriate radii); 3) the placement of a note on the final plat stating that Lots 1 and 2 are limited to one shared curb cut to Wulff Road South and Lots 3 and 4 are limited to one shared curb cut to Wulff Road South, with the size, location and design to be approved by County Engineering; 3) the placement of a note on the final plat stating that Lot 5 is limited to one curb cut to Wulff Road South, with the size, location and design to be approved by County Engineering; 4) the placement of a note on the final plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations and 5) the placement of the 25-foot minimum building setback lines on the final plat.

LOCATOR MAP



APPLICATION NUMBER 12 DATE August 18, 2005

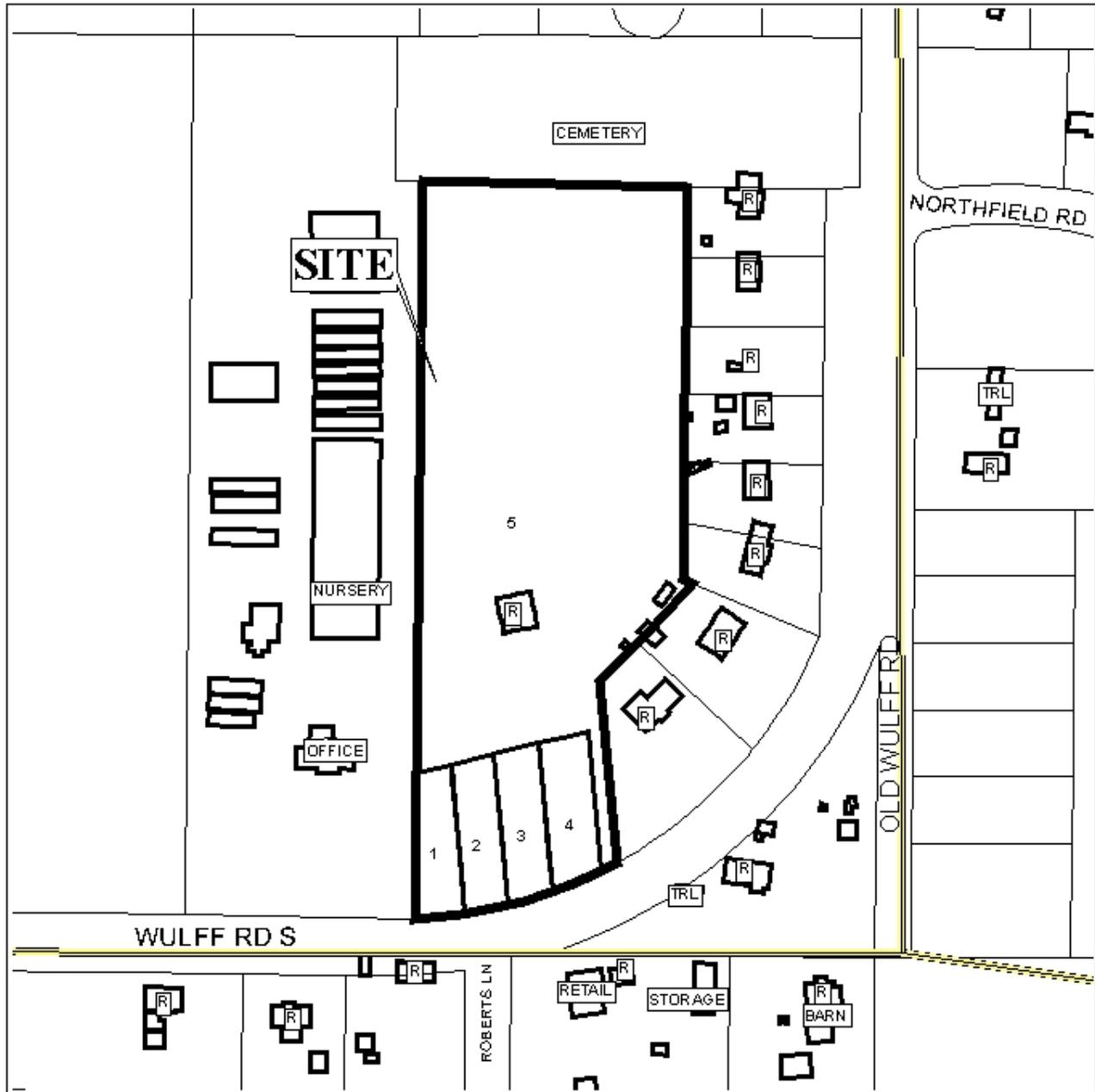
APPLICANT Ashbee Place Subdivision

REQUEST Subdivision



NTS

ASHBEE PLACE SUBDIVISION



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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



NTS