

CHICKAMAUGA SUBDIVISION

Engineering Comments: The following comments should be addressed prior to acceptance and signature by the City Engineer: Provide all of the required information on the Plat (i.e. signatures, written legal description, required notes). Add a note to the Plat stating that storm water detention will be required for any future addition(s) and/or land disturbing activity in accordance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045). Provide a written legal description for the proposed subdivision and matching bearing and distance labels. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all stormwater runoff, wetland and floodplain requirements) would be required prior to the issuance of a permit for any land disturbance activity;

Traffic Engineering Comments: Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWSS Comments: MAWSS has only sewer services available, but a Capacity Assurance application for sewer service has not been applied for. MAWSS cannot guarantee service until the Capacity application is approved by Volkert Engineering Inc.

The plat illustrates the proposed 36.3± acre, 2-lot subdivision which is located on the West side of Riviere Du Chien Road, extending to the East terminus of Lloyd Station Road, and is in Council District 4. The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is to create two legal lots of record from a single legal lot of record. The lot sizes are labeled, and the proposed lots would exceed the minimum size requirements of Section V.D.2. of the Subdivision Regulations. The lot sizes should be retained in square feet and acres on the Final Plat, as on the preliminary plat, if approved.

The 25-foot minimum building setback line, required in Section V.D.9., is illustrated on the preliminary plat. However, because the proposed Lot 2-B is a flag lot, according to Section V.D.1. of the Subdivision Regulations, the building site area of a flag lot should be exclusive of the pole, therefore the minimum building setback line for the proposed Lot 2-B should be revised to reflect this. If approved, the 25-foot building setback line should be retained and labeled along all frontages on the Final Plat.

It should be noted that the proposed Lot 2-B does not meet the standards for width-to-depth ratio or the requirement for regularly shaped lots. Section V.D.3. of the Subdivision Regulations states that lot depth should not exceed 3.5 times the width of the lot at the building setback; and Section V.D.1. of the Subdivision Regulations states that flag lots are generally not allowed unless there are pre-existing barriers or in the case of a family subdivision, neither of which is applicable. As proposed, Lot 2-B will be a flag lot that is 100' wide at the minimum setback line, and 540'± deep. While, long and narrow lots are common in this area, including several flag lots, there are none as unusually shaped as the proposed Lot 2-B. If approved, a note should be placed on the Final Plat stating that there will be no further subdivision of the proposed Lot 2-B until such a time as a road is constructed to city standards to provide access to any future lots.

The site fronts onto Riviere Du Chien, a minor street with no curb and gutter, which is illustrated as having a varying right-of-way. According to the Subdivision Regulations, minor roads without curb and gutter should have a right-of-way of 60'; therefore the plat should be revised to illustrate 30' from the centerline, with dedication if necessary. It should also be noted that the preliminary plat does not illustrate a 50' wide access road which runs through the proposed Lot 2-B to an otherwise land-locked adjacent parcel. If approved, the Final Plat should illustrate the location of this access road, and any associated easements.

As a mean of access management, a note should be placed on the Final Plat limiting each lot to one curb cut to Riviere Du Chien Road, with the size, design, and location of the curb cut to be approved by Traffic Engineering and conform to AASHTO standards.

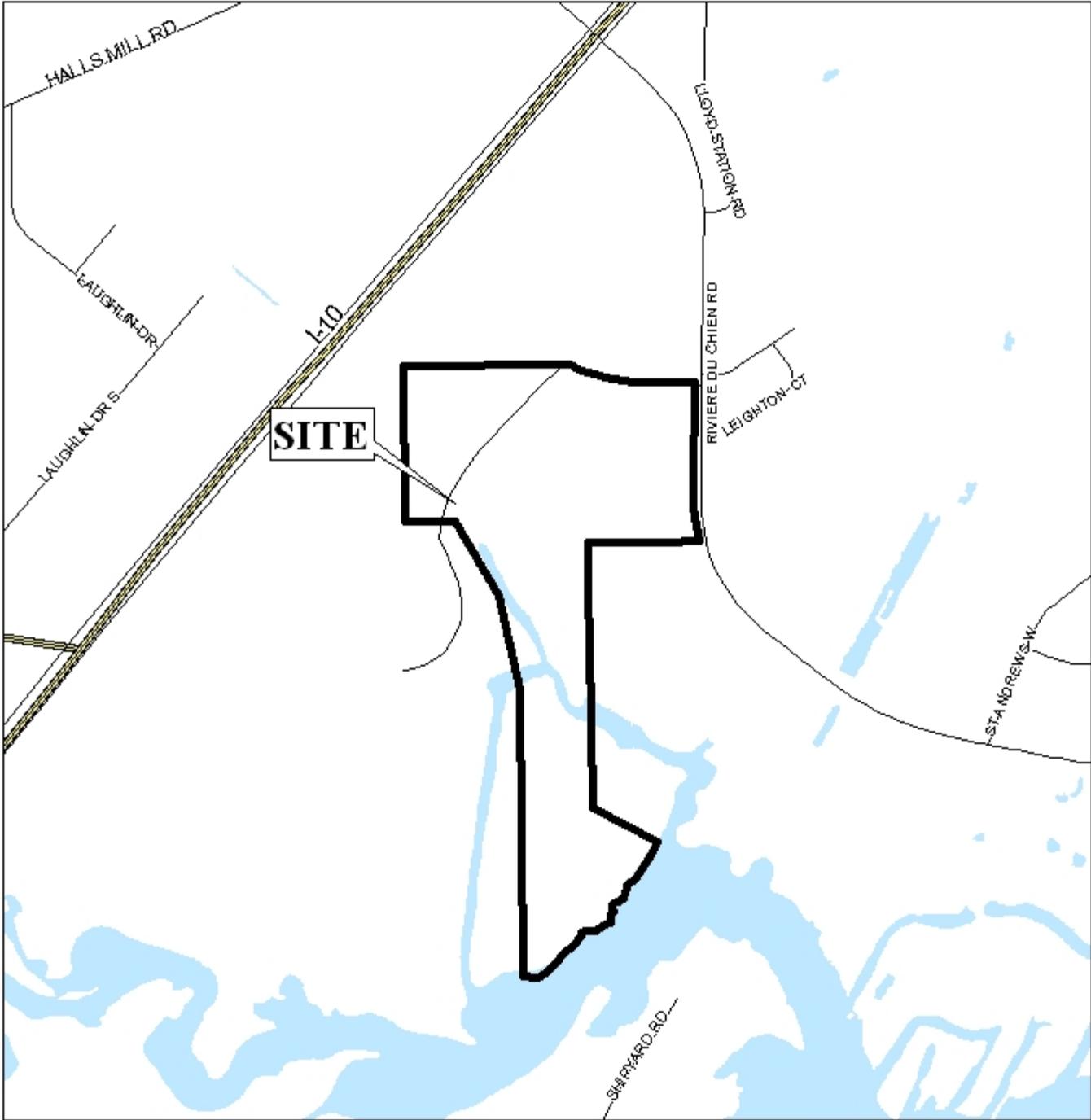
The southern portion of the proposed Lot 2-B contains a portion of Halls Mill Creek, and wetlands associated with the creek are illustrated on a portion of the site. The site, additionally, appears to be partially located in the "floodway" and "AE" flood zone as depicted on FEMA maps, and thus may be subject to flooding. The presence of wetlands and floodplains indicate that the area may be environmentally sensitive; therefore, the approval of all applicable Federal, state and local agencies would be required prior to the issuance of any permits or land disturbance activities.

The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Based upon the preceding, the application is recommended for Denial due to the following:

- 1) the Subdivision does not comply with V.D.1. of the Subdivision Regulations; and
- 2) the Subdivision does not comply with Section V.D.3. of the Subdivision Regulations.

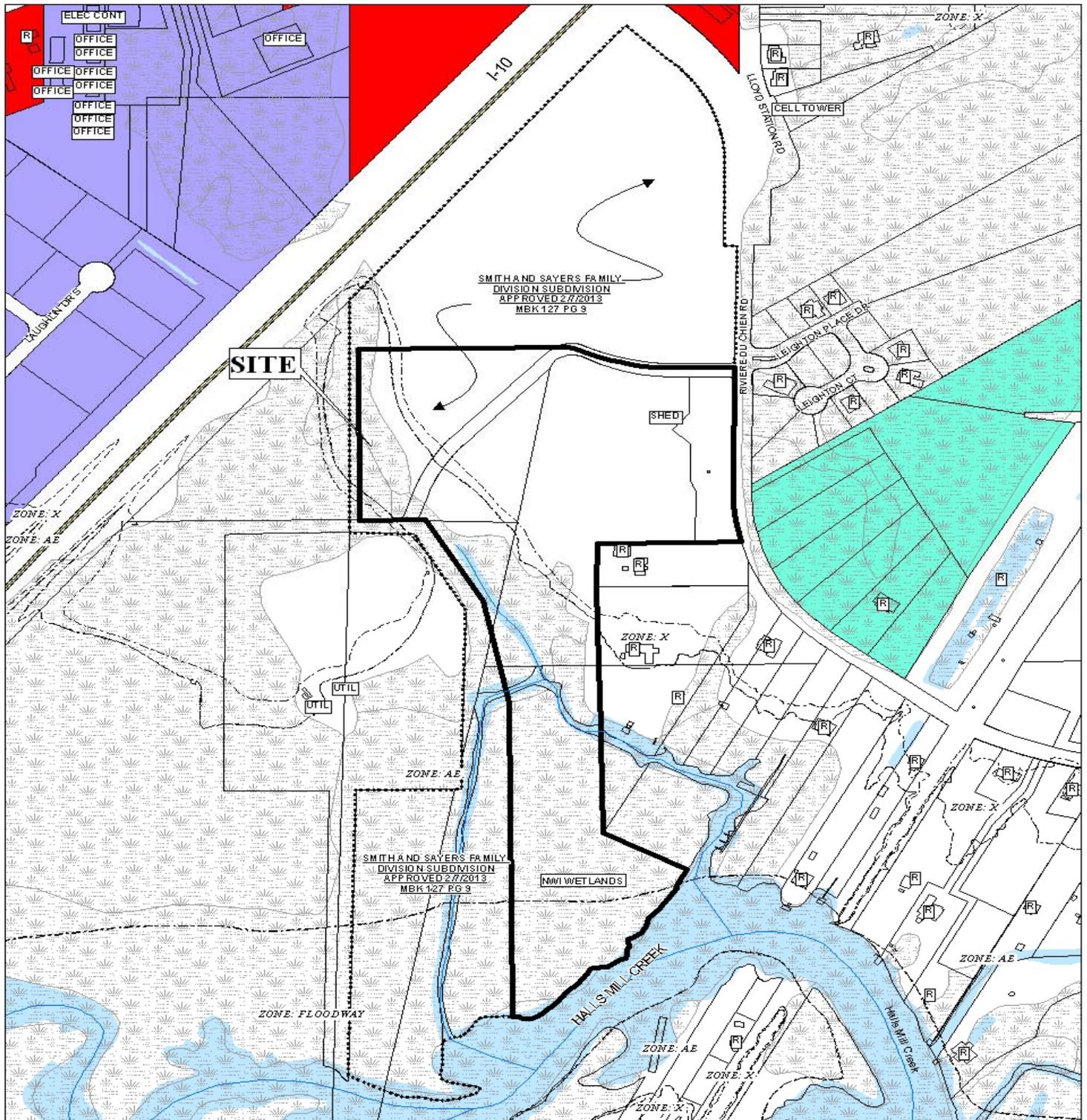
LOCATOR MAP



APPLICATION NUMBER 11 DATE September 5, 2013
APPLICANT Chickamauga Subdivision
REQUEST Subdivision



CHICKAMAUGA SUBDIVISION



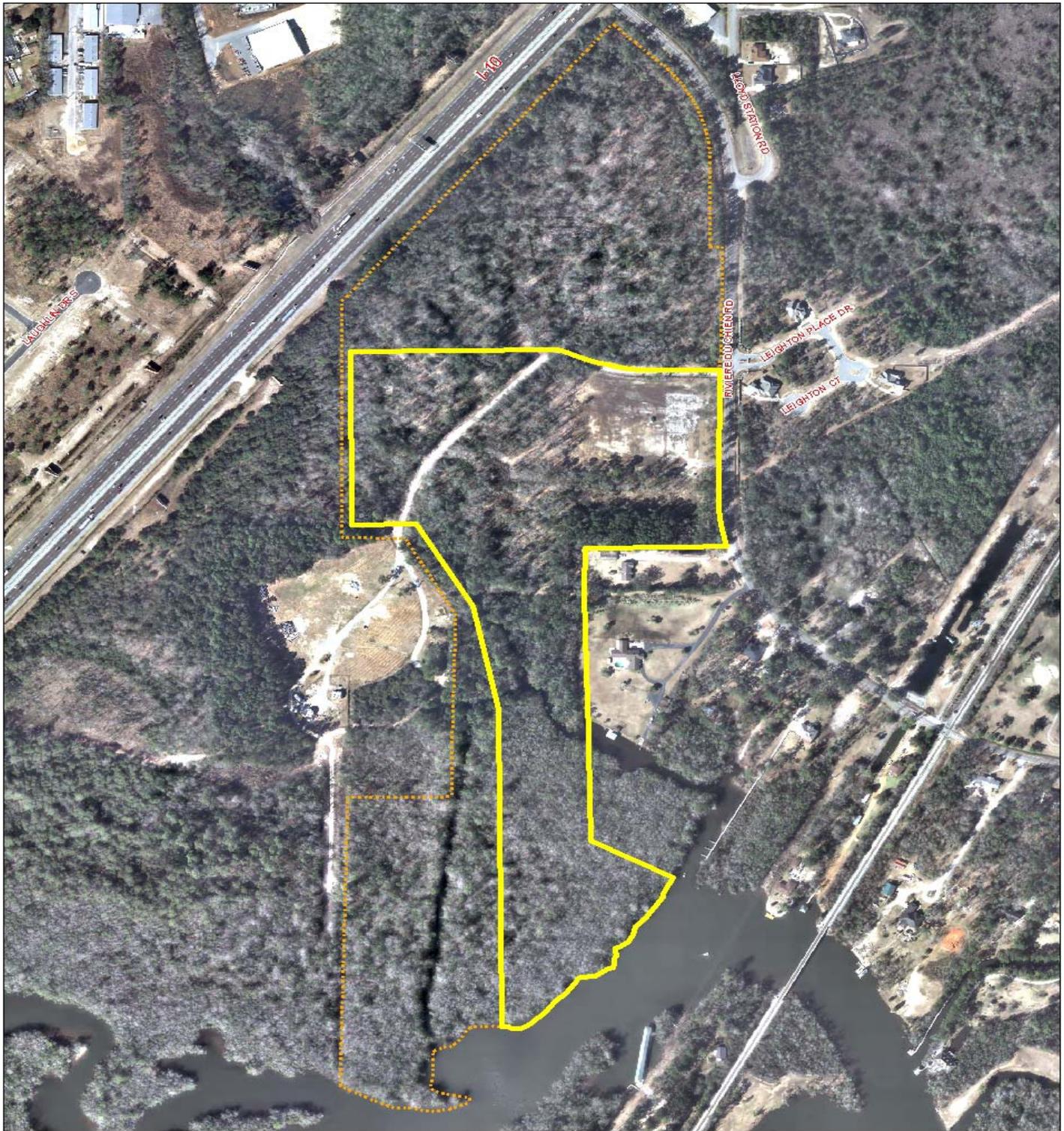
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LEGEND

R-1	R-2	R-3	R-A	R-B	HB	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



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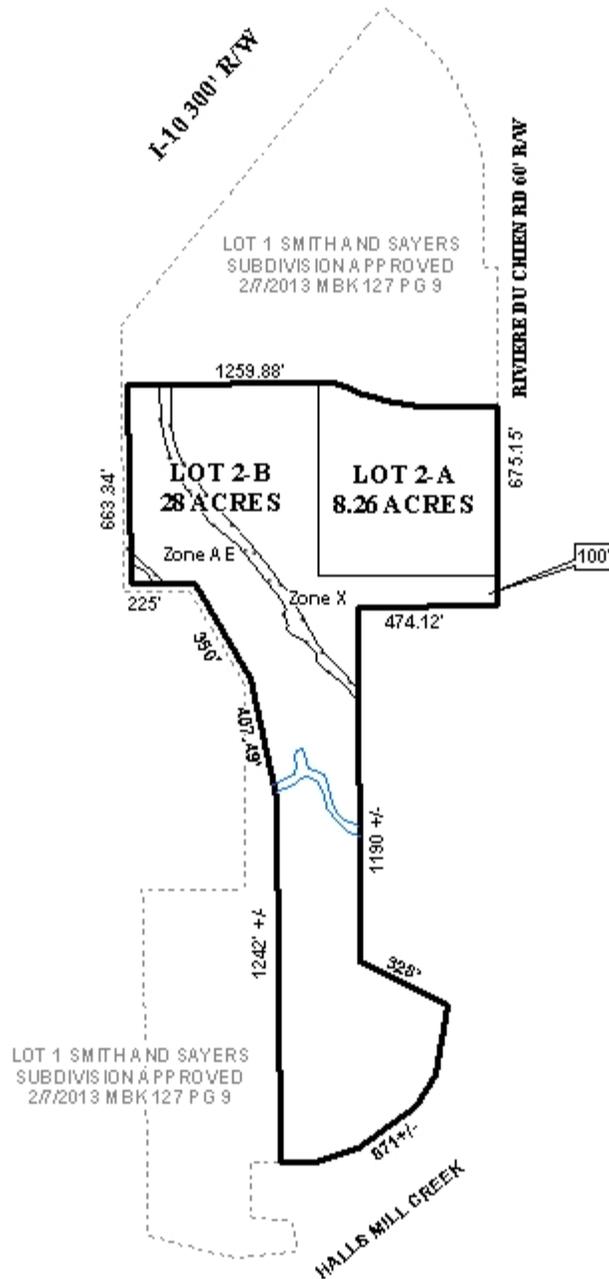


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NTS

DETAIL SITE PLAN



APPLICATION NUMBER 11 DATE September 5, 2013
APPLICANT Chickamauga Subdivision
REQUEST Subdivision

