

FALLING LEAF SUBDIVISION, UNIT TWO

Engineering Comments: Add note to plat stating that no work in the wetlands is allowed without a permit from the Corps of Engineers. Show limits of AE flood plain on plat. Show minimum finished floor elevation on each lot in the AE flood plain. Show location of storm water detention on plat. No fill is allowed in the AE flood plain without compensation. Any impact on the floodway must comply with FEMA regulations and City of Mobile Engineering Department standards. Any creek crossing must comply with AASHTO, Corps of Engineers, ADEM, FEMA, and City of Mobile Engineering Department requirements. No detention is allowed in the City of Mobile right of way or AE flood plain. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

Traffic Engineering Comments: Driveway number, sizes, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: No comments.

The plat illustrates the proposed 56.0± acre, 84-lot subdivision which is located on the East side of Sollie Road, 400'± North of the East terminus of Isle of Palms Drive, extending to the East terminus of Raleigh Boulevard, and is located within Council District 6. The applicant states that the subdivision is served by both public water and sewer.

The purpose of this application is to create 84 lots of record from the remaining portions of four metes and bounds parcels. It should be noted that this site was listed as "Future Development" on a previous 51-lot subdivision (Sollie Road Subdivision) approved by the Commission in July 2006 meeting.

Access to the site is proposed from Sollie Road Subdivision by a new street connection and bridge over Second Creek. The plat also illustrates the creation of new streets to provide access to the 84 lots. The connection and new streets within the subdivision are to be dedicated and constructed to meet City Engineering standards.

Additionally, since Lots 8, 9, 56, 60, 61, 66, 67, 73, and 79 are corner lots, a note should be placed on the Final Plat stating they are limited to one curb-cut each with the size, design and located to be determined by Traffic Engineering. Labeling of each lot with its size in square feet, or provision of a table on the plat with the same information is also requested.

The site is bounded to the West by wetlands and is illustrated as a floodway (Second Creek) on the preliminary plat. The presence of wetlands indicate that the area may be environmentally sensitive; therefore, the approval of all applicable federal, state and local agencies would be required prior to the issuance of any permits or land disturbance activities.

Also, it should be noted that to lessen the impact on the creek, significant areas outside the floodplain are being left undeveloped and only one bridge across the creek is to be constructed. While this will

result in only one point of access to Sollie Road, the plat does not provide any future street stubs to the adjacent undeveloped properties to the North and East, to allow for future development, as well as allowing for an additional access point to Sollie Road when the adjacent property is developed.

The requirements for street-stubs are based upon Section V.B.1. of the Subdivision Regulations, which states: "The street layout shall also provide for the future projection into unsubdivided lands adjoining of a sufficient number of streets to provide convenient circulation." The parcel East of the site is approximately 60± acres, while the parcel North of the site is approximately 95± acres. All adjacent parcels are currently undeveloped; however, the trend of this area is towards new residential subdivisions. The size of the parcels to the East and North of the site are such as to likely be the subject of future subdivision applications, hence the provision of two street-stubs to the East and one street stub to the North in the vicinity of Lots 15-20 should be required.

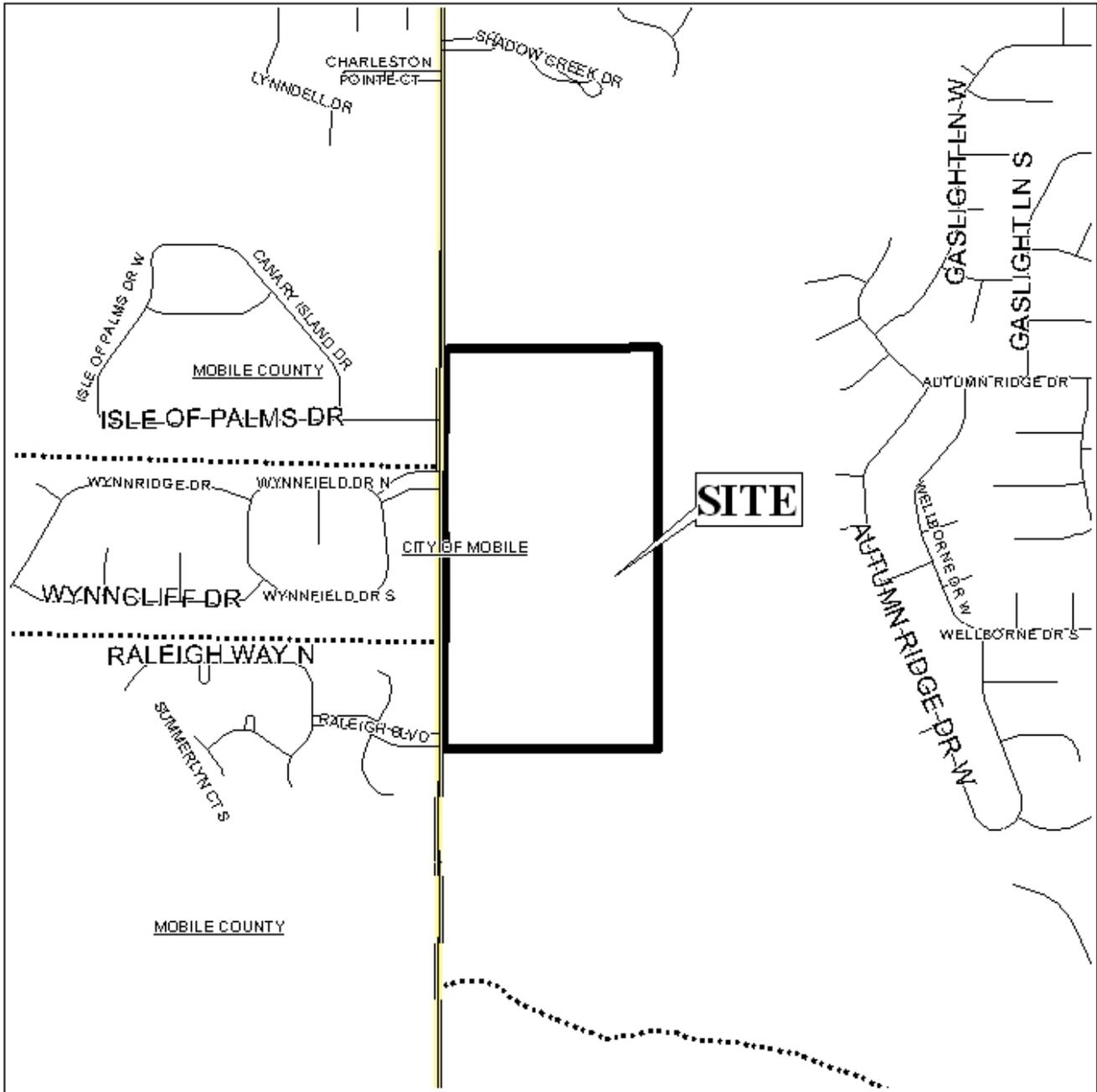
It appears that each lot meets the minimum size requirements for developments with access to public water and sewer. Due to the size of the proposed development, it is requested that the applicant revise the preliminary plat to provide the size of each lot in square feet on the plat, either as a table or as a label for each individual lot.

Several areas are shown on the preliminary plat along the Second Creek and between the one-way streets that should be labeled as common area, thus a note should be placed on the Final Plat stating that maintenance of the common area will be the responsibility of the property owners.

Based upon the preceding, the application is recommended for Holdover until June 7th meeting, with revisions due by May 14th, to address the following:

- 1) the placement of a note on the Final Plat stating that Lots 8, 9, 56, 60, 61, 66, 67, 73, and 79 are corner lots be limited to one curb cut with the size, design and location to be approved by Traffic Engineering;
- 2) labeling of each lot with its size in square feet, or provision of a table on the plat with the same information;
- 3) placement of a note on the plat stating that approval of all applicable federal, state and local agencies is required prior to the signing of the Final Plat;
- 4) the provision of two street-stub to the East and one street stub to the North in the vicinity of Lots 15-20;
- 5) the labeling of all easements and Common Areas accompanied by a note on the Final Plat stating that maintenance of the common area will be the responsibility of the property owners;
- 6) the depiction of the 25-foot minimum building setback lines along Hillcrest Road and the new streets and
- 7) compliance with Engineering Comments Add note to plat stating that no work in the wetlands is allowed without a permit from the Corps of Engineers. Show limits of AE flood plain on plat. Show minimum finished floor elevation on each lot in the AE flood plain. Show location of storm water detention on plat. No fill is allowed in the AE flood plain without compensation. Any impact on the floodway must comply with FEMA regulations and City of Mobile Engineering Department standards. Any creek crossing must comply with AASHTO, Corps of Engineers, ADEM, FEMA, and City of Mobile Engineering Department requirements. No detention is allowed in the City of Mobile right of way or AE flood plain. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit).

LOCATOR MAP



APPLICATION NUMBER 9 DATE May 3, 2007

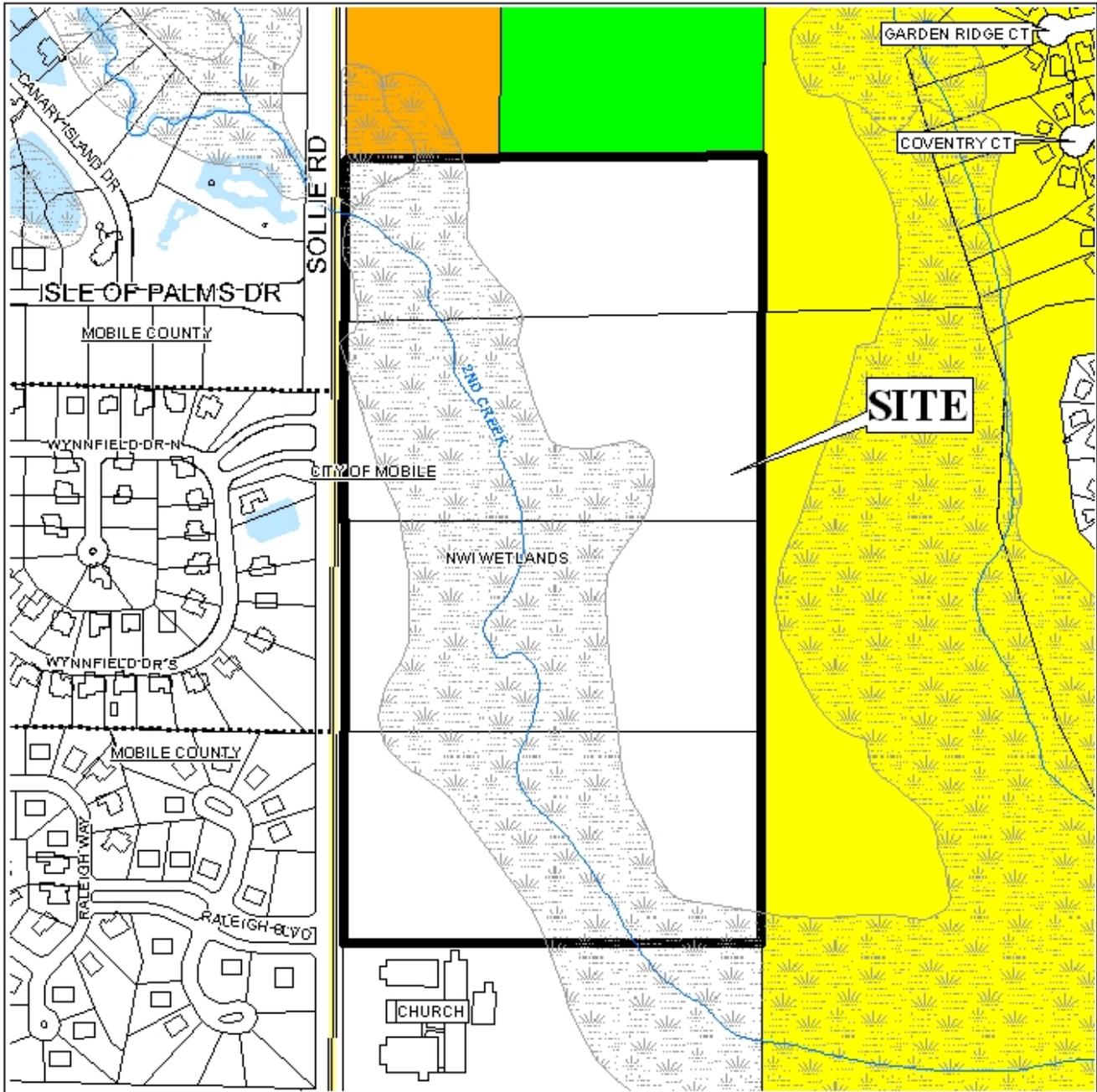
APPLICANT Falling Leaf Subdivision, Unit Two

REQUEST Subdivision



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FALLING LEAF SUBDIVISION, UNIT TWO



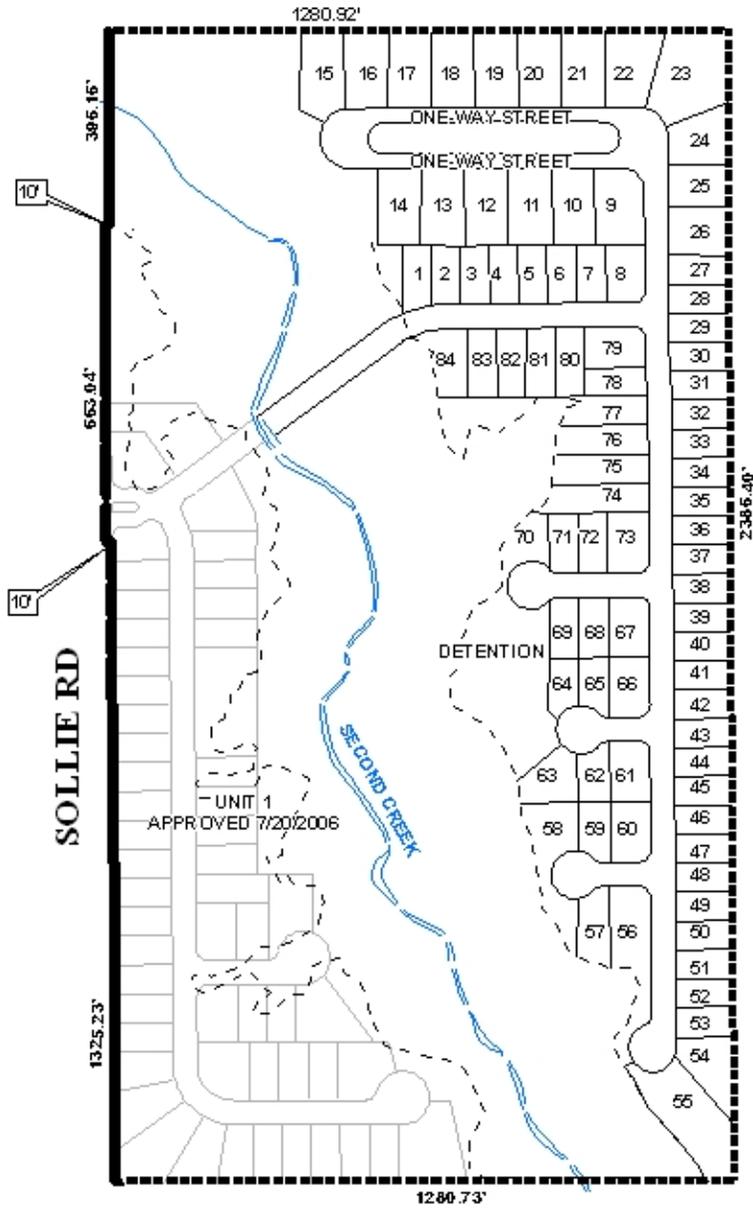
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LEGEND R-1 R-2 R-3 R-A R-B H-B B-1 LB-2 B-2 B-3 B-4 B-5 I-1 I-2



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DETAIL SITE PLAN



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 APPLICANT Falling Leaf Subdivision, Unit Two
 REQUEST Subdivision



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