

BRENDA PARKER SUBDIVISION

Engineering Comments: Check the flood zones shown on the plat; it appears the entire site is AE/X-Shaded flood zone. Show the minimum finished floor on each lot on the plat. It is the responsibility of the applicant to look up the site in the City of Mobile (COM) GIS system and verify if NWI wetlands are depicted on the site. If the COM GIS shows wetlands on the site, it is the responsibility of the applicant to confirm or deny the existence of wetlands on-site. If wetlands are present, they should be depicted on plans and/or plat, and no work/disturbance can be performed without a permit from the Corps of Engineers. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWWS Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for additional sewer service has not been applied for. MAWSS cannot guarantee additional sewer service until a Capacity application is approved by Volkert Engineering, Inc.

The plat illustrates the proposed 2-lot, 3.2± acre subdivision, which is located at 3609 Riviere du Chien Road (East side of Riviere du Chien Road, 500'± North of its Southern terminus), in Council District 4. The applicant states the site is served by city water and sewer services.

The purpose of this application is to subdivide an existing metes-and-bounds parcel into two legal lots of record.

The site fronts onto Riviere du Chien Road , a minor street with adequate right-of-way. While it is a minor right-of-way, access management is a concern. Each lot should be limited to one curb cut onto Riviere du Chien Road, with the size, design and location to be approved by Traffic Engineering and conform to AASHTO standards, if the subdivision is approved.

As proposed, both lots would exceed the maximum width to depth ratio as recommended by the Subdivision Regulations; therefore, a waiver of Section V.D.3., would be required. Since narrow, deep lots are typical of the area, a waiver of V.D.3. would be appropriate.

Each lot meets the minimum requirements of the Subdivision Regulations. As on the preliminary plat, the Final Plat should also label each lot with its size in both square feet and acres, or a table should be furnished on the Final Plat providing the same information. And the 25' minimum building setback line should also be illustrated on the Final Plat as on the preliminary.

The plat indicates a proposed 10' minimum side yard setback on the South side of proposed Lot 1, and an 8' minimum side yard setback on its North side, for a combination of 18' side yards. The Zoning Ordinance requires a minimum side yard combination of 20' for lots wider than 60' at the building setback line, as this lot would be, if approved. A letter furnished with the application requests a variance for the combined side yard setbacks. However, a Planned Unit Development application for an innovative subdivision with reduced side yards or a Combined Side Yard Setback Variance application would be required to allow the reduced side yards. As a one-lot innovative subdivision is not indicated in this situation, the applicant should pursue a Variance through the Board of Zoning Adjustment to allow the proposed reduced combined side yards as the proposed reduced side yard combination is located on an external lot. The plat should be revised to remove the minimum side yard setbacks on both lots.

The current land use survey indicates structures on the site which are not indicated on the preliminary plat. Required setbacks for the structures off the proposed internal property line cannot be determined. Therefore, the plat should either be revised to indicate the structures meet the required minimum 8' side yard setback off the new interior property line or noncompliant structures should be demolished prior to signing the Final Plat.

It should be noted that the site is located within the X-unshaded and AE flood zones as shown on FEMA Flood Insurance Rate Maps. The site is on Dog River, and wetlands and floodplains associated with the waterway may occur on a portion of the site. The presence of wetlands and floodplains would indicate that the area may be environmentally sensitive; therefore, if approved, the approval of all applicable federal, state and local environmental agencies would be required prior to the issuance of any permits or land disturbance activities.

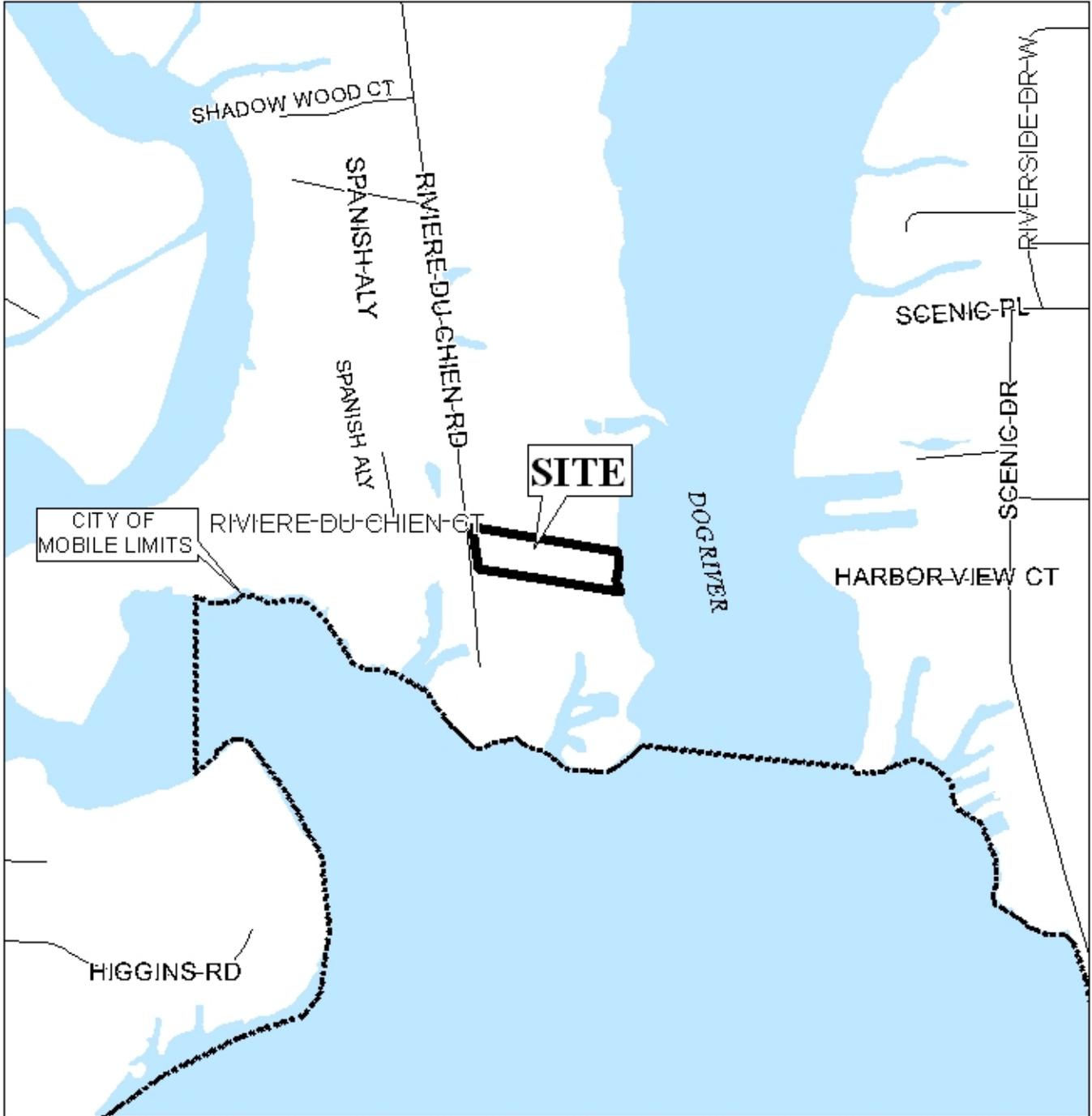
The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of this site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

With a waiver of Section V.D.3., the plat meets the minimum requirements of the Subdivision Regulations and is recommended for tentative approval, subject to the following conditions:

- 1) placement of a note on the Final Plat stating that each lot is limited to one curb cut to Riviere du Chien Road, with the size, design and location to be approved by Traffic Engineering and conform to AASHTO standards;
- 2) labeling of each lot with its size in acres and square feet, or the furnishing of a table on the final plat providing the same information;
- 3) illustration of the 25' minimum building setback line on each lot;
- 4) revision of the plat to remove the proposed minimum side yard setbacks on both lots;

- 5) revision of the plat to illustrate existing structures meet the minimum side yard setbacks off the proposed interior property line or demolition of noncompliant structures prior to signing the Final Plat;
- 6) placement of a note on the Final Plat stating that if NWI wetlands are present on the site, the approval of all applicable federal, state and local agencies would be required prior to the issuance of any permits or land disturbance activities;
- 7) placement of a note on the Final Plat stating that development of this site must be undertaken in compliance with all local, state, and Federal regulations regarding endangered, threatened or otherwise protected species; and
- 8) subject to the Engineering Comments: *(Check the flood zones shown on the plat; it appears the entire site is AE/X-Shaded flood zone. Show the minimum finished floor on each lot on the plat. It is the responsibility of the applicant to look up the site in the City of Mobile (COM) GIS system and verify if NWI wetlands are depicted on the site. If the COM GIS shows wetlands on the site, it is the responsibility of the applicant to confirm or deny the existence of wetlands on-site. If wetlands are present, they should be depicted on plans and/or plat, and no work/disturbance can be performed without a permit from the Corps of Engineers. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit).*

LOCATOR MAP



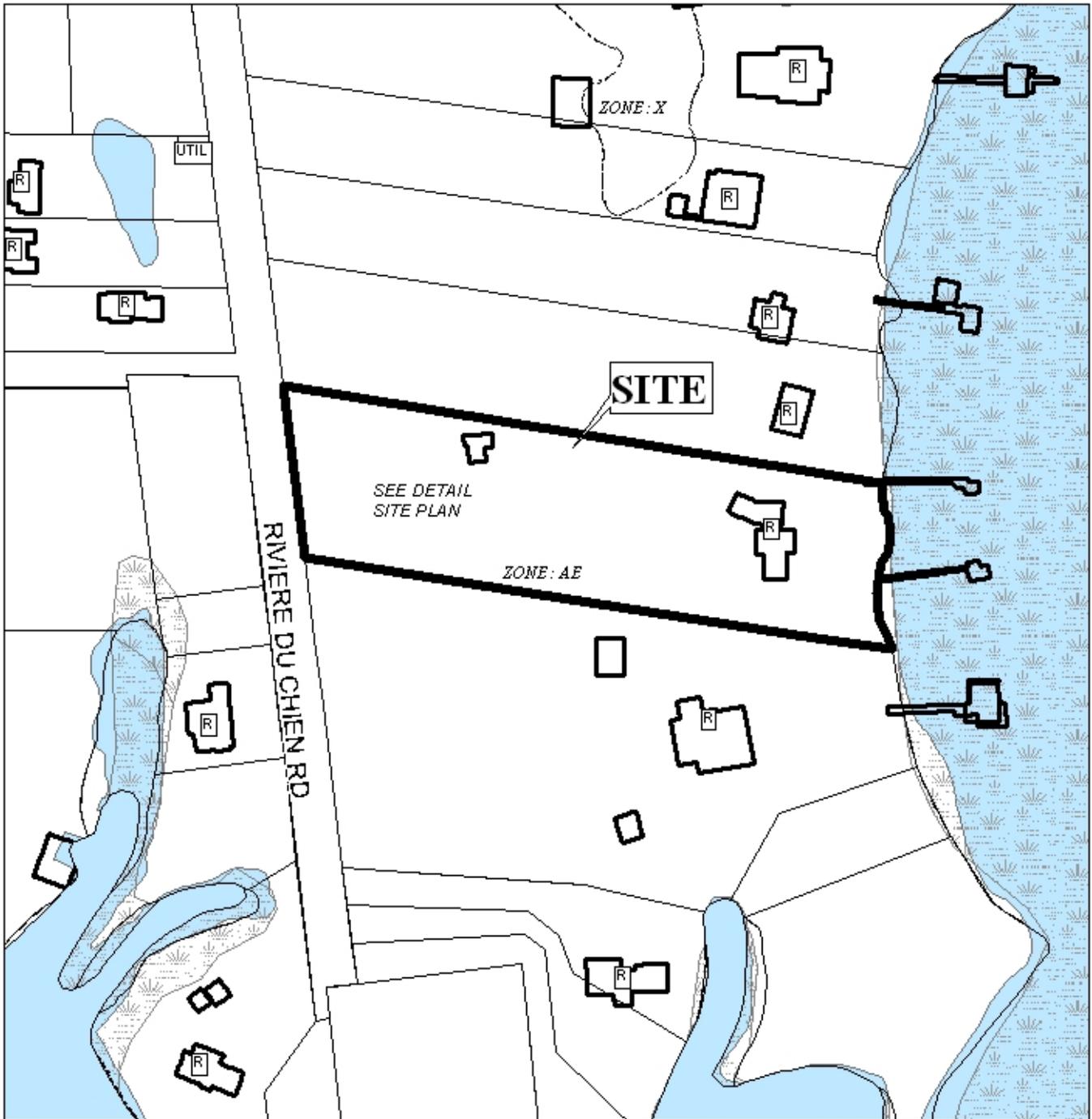
APPLICATION NUMBER 9 DATE April 21, 2011

APPLICANT Brenda Parker Subdivision

REQUEST Subdivision



BRENDA PARKER SUBDIVISION



APPLICATION NUMBER 9 DATE April 21, 2011

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



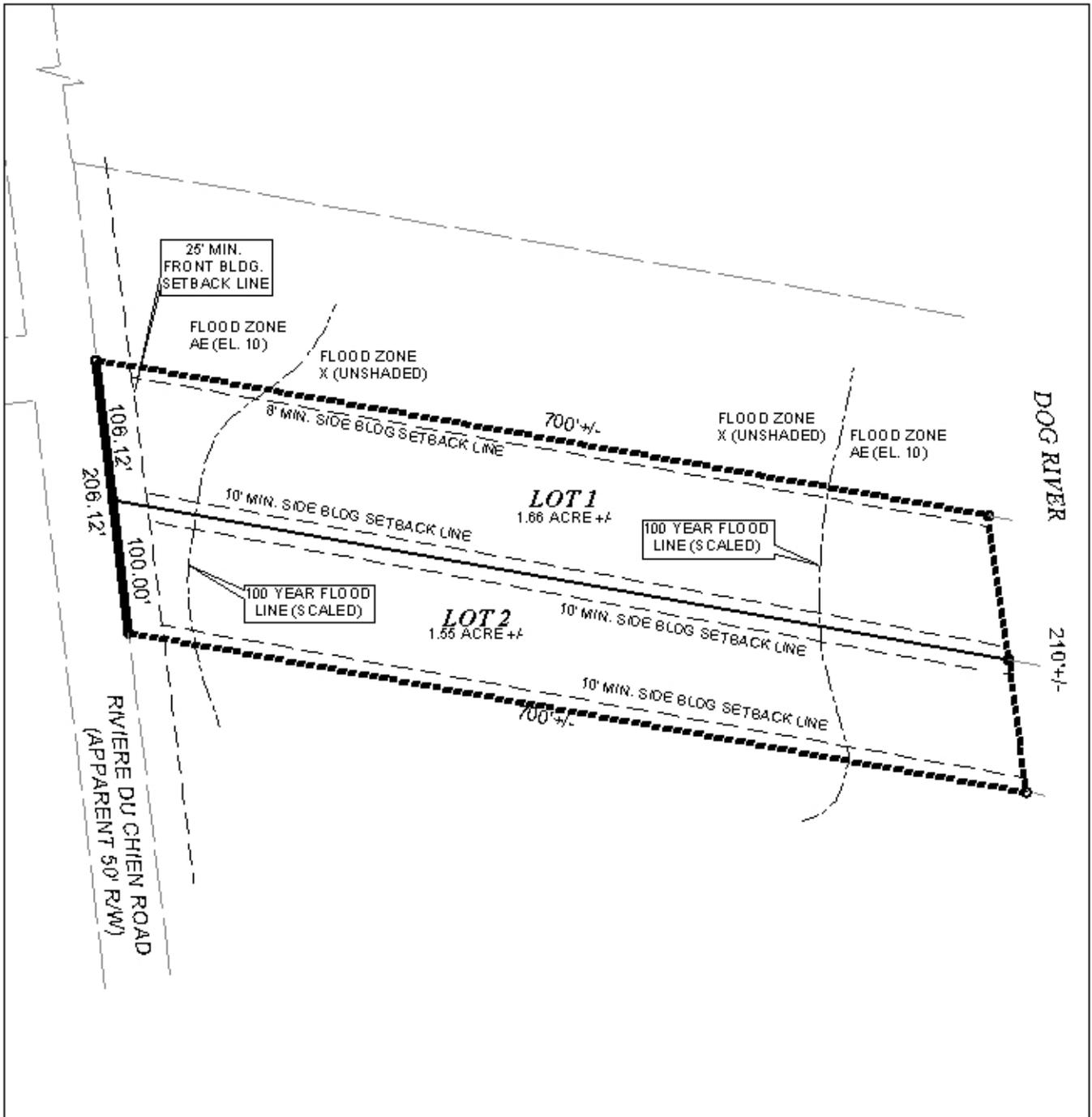
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DETAIL SITE PLAN



APPLICATION NUMBER 9 DATE April 21, 2011
 APPLICANT Brenda Parker Subdivision
 REQUEST Subdivision

