

**PLANNED UNIT DEVELOPMENT
STAFF REPORT**

Date: August 18, 2016

DEVELOPMENT NAME

Sandefur Properties, LLC

LOCATION

1753 Spring Hill Avenue
(Southwest corner of Spring Hill Avenue and Mobile
Infirmary Boulevard)

CITY COUNCIL

DISTRICT

District 1

PRESENT ZONING

B-2, Neighborhood Business District

AREA OF PROPERTY

1 Lot / 1.0 ± Acres

CONTEMPLATED USE

Planned Unit Development Approval to amend a previous
Planned Unit Development to allow shared access and
parking between multiple sites.

TIME SCHEDULE

FOR DEVELOPMENT

None provided

ENGINEERING

COMMENTS

ADD THE FOLLOWING NOTES TO THE PUD SITE

PLAN:

1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.
3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
4. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a

Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals.

- 5. The proposed development must comply with all Engineering Department design requirements and Policy Letters.

TRAFFIC ENGINEERING

COMMENTS

Spring Hill Avenue (US Highway 98) is an ALDOT maintained roadway. Lot 1A and 1B are limited to no more than their existing shared curb cuts on Spring Hill Avenue, with size, location and design to be approved by ALDOT and Traffic Engineering and conform to AASHTO standards. Lot 1A is also limited to one curb cut to Mobile Infirmary Boulevard, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City’s Zoning Ordinance. The proposed striping does not match the International Symbol for Access and should be revised prior to permitting to meet the accepted standard.

URBAN FORESTRY

COMMENTS

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).

FIRE DEPARTMENT

COMMENTS

All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code).

REMARKS

The applicant is requesting Planned Unit Development approval to amend a previous PUD to allow shared access between multiple sites. The site received approval for a 2-lot Subdivision at the Planning Commission’s April 21st meeting; therefore the Subdivision process will need to be completed prior to the issuance of building permits. The site also received Planned Unit Development approval at the Planning Commission’s May 5, 2016 meeting.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from the adverse effects from the PUD.

The site appears to be depicted as “Traditional Corridor” Area, per the recently adopted Map for Mobile Plan. The intent of a Traditional Corridor Area is to allow for:

- Emphasize retaining historic buildings and creating appropriate, denser infill development
- Encourage mixed housing types including small multi-family structures along the corridor
- Retail and neighborhood services at intersections
- Combine and close driveways to create a continuous pedestrian friendly environment
- Auto, bicycle, transit and pedestrian traffic are accommodated
- More dense mixed-use development to include neighborhood services and residential above retail

The site currently has a structure which the applicant is proposing to demolish and construct a new restaurant. It should be noted that a demolition permit will be required for the existing structure prior to the issuance of building and land disturbance permits. The applicant has revised the proposed site plan from that approved in May to illustrate changes in the parking layout, including the provision of six parking spaces along Spring Hill Avenue that were to be removed from the site as a condition of the approval received in May. No explanation was included with the application regarding the reasons for the proposed change.

There is an existing drive on the South of the site that provides access to the sites adjacent to the West and South that was approved in a Planned Unit Development application at the Planning Commission's September 15, 2011 meeting.

The restaurant is illustrated as being 3,652 square feet, requiring 37 parking spaces. The site plan illustrates 40 parking spaces, providing an overage. Curbing is illustrated for all parking spaces to prevent vehicles from parking on the landscaped area.

The site plan illustrates a dumpster on the site, with a note stating to reference a page not provided with this application for details. If approved, the site plan should be revised to specifically state that the dumpster will comply with Section 64-4.D.9. of the Zoning Ordinance.

The site plan illustrates several proposed signs including a freestanding sign, a "welcome" sign, a "thank you" sign, a menu board, and a pre-sell board. It should be noted that as long as the "welcome" and "thank you" signs do not have the name of the business or a logo, they are considered informational and do not require sign permits. All other signs will require a sign permit, however the pre-sell board may not be allowed on the site as one menu board is allowed per drive-thru lane, and the proposed layout of the site only indicates a single drive-thru lane. Also, it appears the proposed "welcome" sign may be located in a drainage easement; no signs are allowed within easements.

It should be noted that a proposed site plan illustrating tree plantings and landscape area was provided, however it does not show the site as being in compliance with Zoning Ordinance requirements. Based on staff calculations, a total of 6 frontage trees are required along Spring Hill Avenue, 9 frontage trees are required along Mobile Infirmary Boulevard, and 2 parking trees are required. The site plan states that there are two existing trees along Spring Hill Avenue to be used as credits for tree planting; however, only one of these trees is located on the subject site and able to be counted as tree credit. Furthermore, the dimensions of the property given in the

landscape calculations do not match what is illustrated on the site plan, and no landscape area information is given in square feet, but the site plan indicates full compliance with landscape area will be provided. If approved, the site plan should be revised to illustrate full compliance with tree planting and landscape area

Because the site will have more than 25 parking spaces, a photometric plan will be required at the time of permitting.

RECOMMENDATION The Planned Unit Development request is recommended for Approval, subject to the following:

- 1) obtaining a demolition permit for the existing structure prior to issuance of land disturbance or building permits;
- 2) indicate the dumpster will be connected to sanitary sewer and an enclosure in compliance with Section 64-4.D.9. of the Zoning Ordinance will be provided;
- 3) compliance with Engineering comments (*ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN: 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 4. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals. 5. The proposed development must comply with all Engineering Department design requirements and Policy Letters..*);
- 4) compliance with Traffic Engineering comments (*Spring Hill Avenue (US Highway 98) is an ALDOT maintained roadway. Lot 1A and 1B are limited to no more than their existing shared curb cuts on Spring Hill Avenue, with size, location and design to be approved by ALDOT and Traffic Engineering and conform to AASHTO standards. Lot 1A is also limited to one curb cut to Mobile Infirmary Boulevard, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance. The proposed striping does not match the International Symbol for Access and should be revised prior to permitting to meet the accepted standard.*);

- 5) compliance with Urban Forestry comments (*Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).*); and
- 6) compliance with Fire Department comments (*All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code).*);
- 7) submittal of a photometric plan at time of permitting;
- 8) provision of two copies of the revised Planned Unit Development site plan prior to the signing of the Final Plat; and
- 9) completion of the Subdivision process prior to land disturbance or permits for new construction (demo is ok).

LOCATOR MAP



APPLICATION NUMBER 6 DATE August 18, 2016

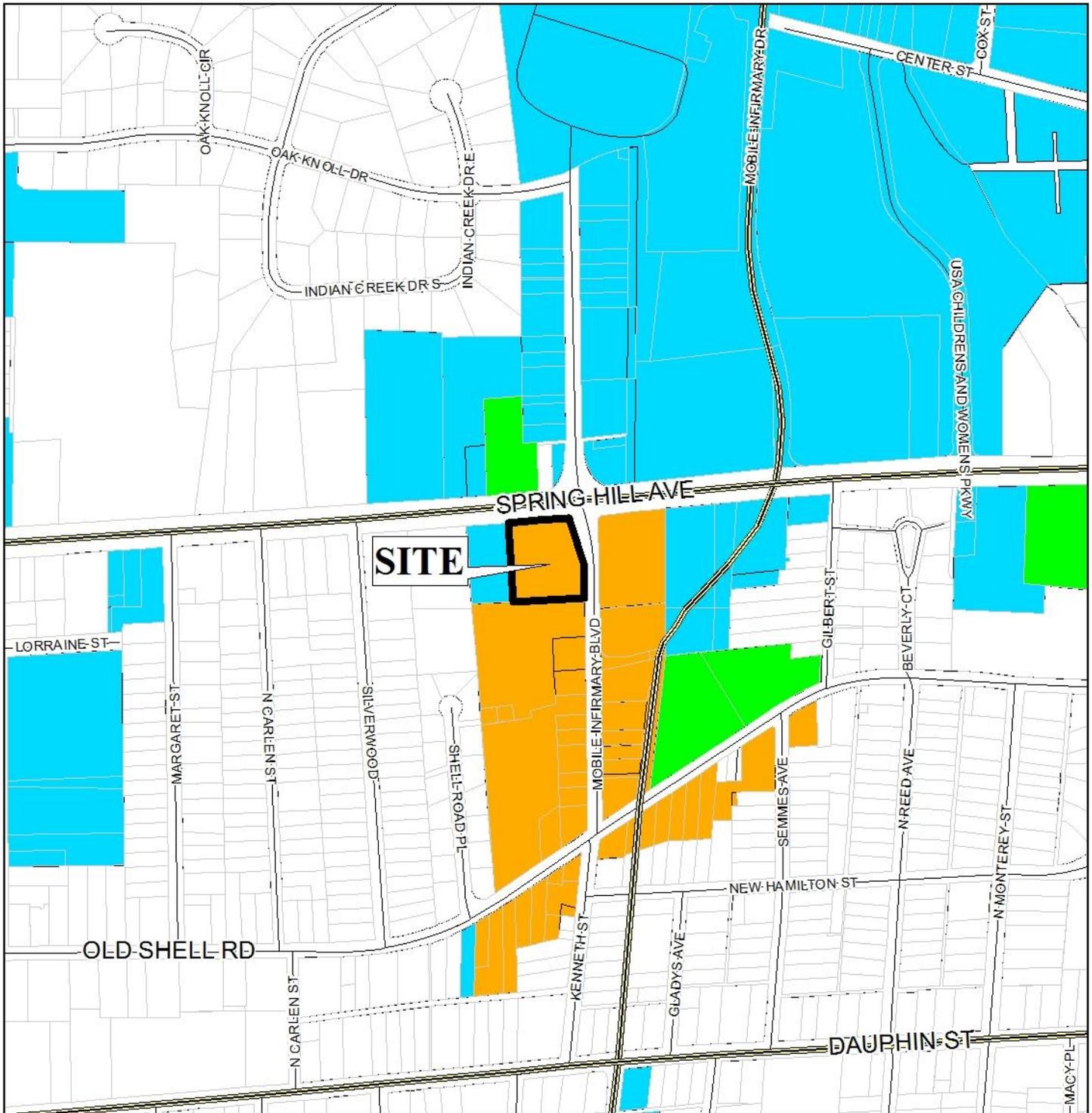
APPLICANT Sandefur Properties LLC

REQUEST Planned Unit Development



NTS

LOCATOR ZONING MAP



APPLICATION NUMBER 6 DATE August 18, 2016

APPLICANT Sandefur Properties LLC

REQUEST Planned Unit Development



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by residential units to the west and commercial units to the east. A church is located west of the site.

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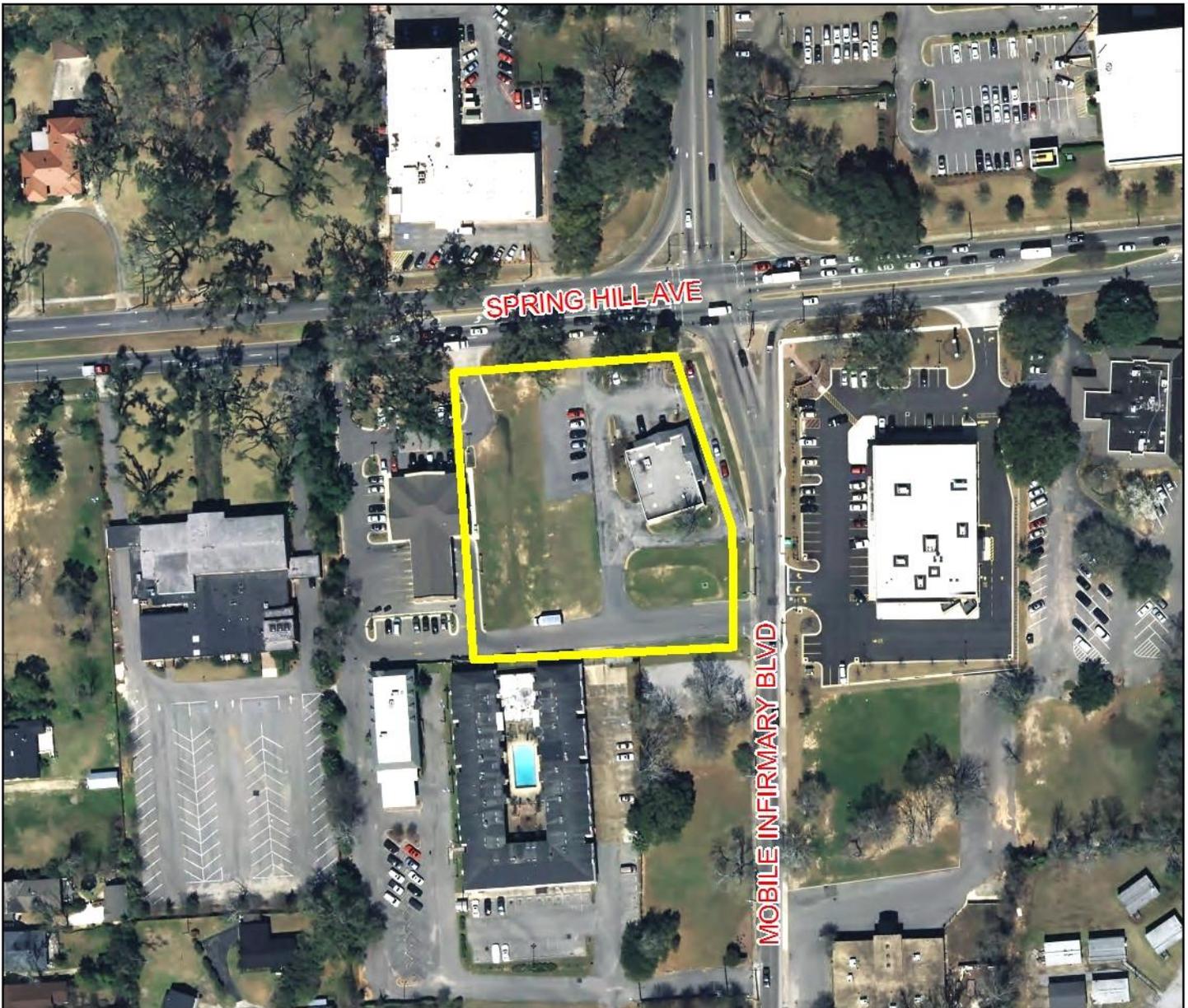
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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



PLANNING COMMISSION VICINITY MAP - EXISTING AERIAL



The site is surrounded by residential units to the west and commercial units to the east. A church is located west of the site.

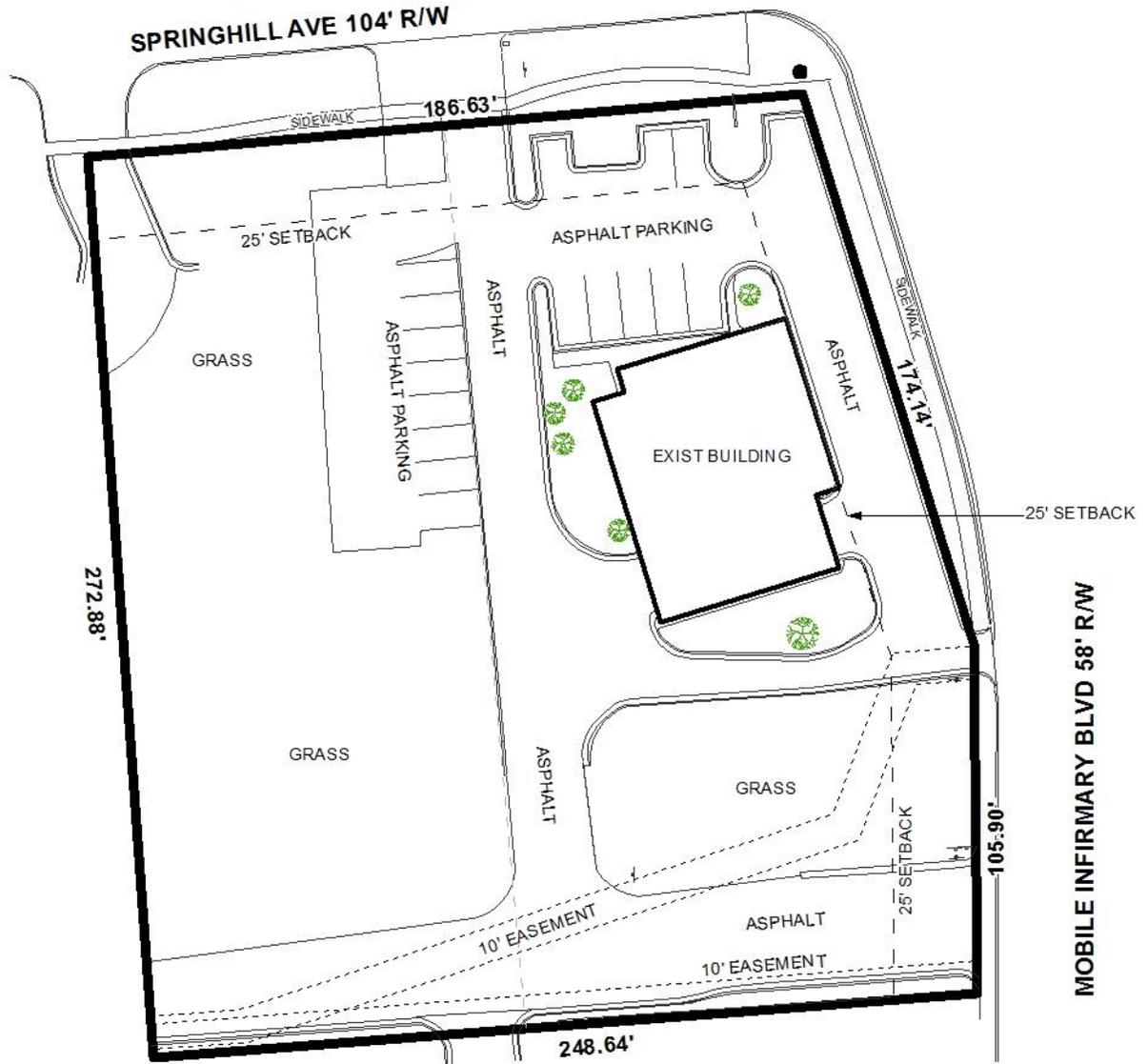
APPLICATION NUMBER 6 DATE August 18, 2016

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REQUEST Planned Unit Development



EXISTING SITE PLAN

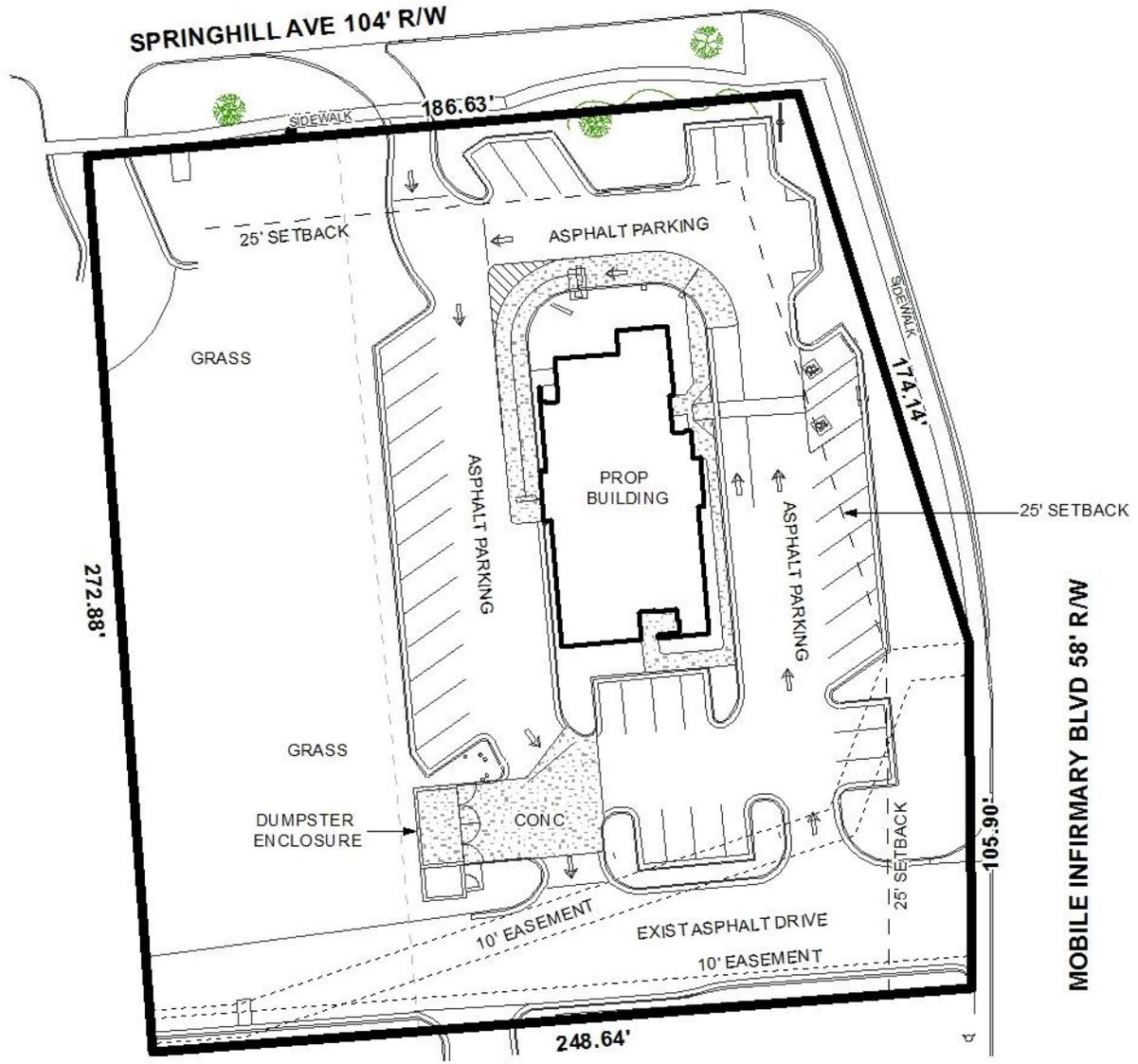


The site plan illustrates the existing building, asphalt drives, asphalt parking, easements, and setbacks.

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PROPOSED SITE PLAN



The site plan illustrates the existing drive, proposed building, proposed parking, dumpster pad, easements, and setbacks.

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