

**PLANNED UNIT DEVELOPMENT  
STAFF REPORT**

**Date: March 19, 2015**

**DEVELOPMENT NAME**

Grant Harkness

**LOCATION**

1607 E I-65 Service Road South  
(East side of East I-65 Service Road South, 820'± North of I-65 Commerce Drive)

**CITY COUNCIL**

**DISTRICT**

District 4

**PRESENT ZONING**

B-3, Community Business District

**AREA OF PROPERTY**

2 Lots / 4.9± Acres

**CONTEMPLATED USE**

Planned Unit Development Approval to amend a previously approved Planned Unit Development to allow an additional building.

**TIME SCHEDULE**

**FOR DEVELOPMENT**

None provided

**ENGINEERING**

**COMMENTS**

ADD THE FOLLOWING NOTES TO THE PUD SITE

PLAN:

1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.
3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
4. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be

required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals.

- 5. The proposed development must comply with all Engineering Department design requirements and Policy Letters.

**TRAFFIC ENGINEERING**

**COMMENTS**

Interstate 65 Service Road is an ALDOT maintained roadway. Driveway number, size, location and design to be approved by ALDOT and Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City’s Zoning Ordinance.

**URBAN FORESTRY**

**COMMENTS**

Full compliance with landscaping and tree requirements of the Zoning Ordinance to be coordinated with Urban Forestry.

**FIRE DEPARTMENT**

**COMMENTS**

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile. As per Appendix D, Section D107.1, one and two family developments with more than 30 dwelling units shall be provided with separate and approved fire apparatus access roads and shall meet the requirements of Section D104.3.

**REMARKS**

The applicant is requesting Planned Unit Development Approval to amend a previously approved Planned Unit Development to allow an additional building.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is *site plan specific*, thus if any new construction is anticipated that will change an approved site plan, an application to amend an existing, approved PUD must be made prior to any construction activities.

The site was the subject of Planned Unit Development and Subdivision applications at the February 17, 2005 meeting of the Planning Commission. The proposal, approved by the Planning Commission, was to add a new warehouse and showroom on Lot 1, and a new warehouse building on Lot 2. Neither the warehouse building on Lot 2 or the showroom proposed for Lot 1 were built, however, the warehouse facility on Lot 1 was constructed. The 2005 approval required that the new development on Lot 1 fully comply with the tree and landscape requirements of the Zoning Ordinance, while Lot 2 was only required to provide frontage trees. An application for an Administrative PUD was also required prior to the

development of the proposed building on Lot 2, however, the application was apparently never made. A PUD application in June 2009 was withdrawn by the applicant prior to any ruling by the Planning Commission. The applicant submitted another PUD that was approved at the Planning Commission's October 21, 2010 meeting to allow the construction of the new showroom on Lot 1 similar to what was originally proposed in 2005. The applicant now wishes to obtain approval to place an 8,000 square foot warehouse on Lot 2.

Parking and access/maneuvering surface variances to allow aggregate surfacing for the front display area on Lot 1 were approved by the Board of Adjustment for the site for a maximum of two years on January 8, 2007, and was once again approved for another two years on September 14, 2009. The site plan illustrates compliant asphalt surfacing for the parking area currently.

The site plan provides information regarding parking on Lot 2, but does not include Lot 1. Based on the existing 3,000 square foot showroom and warehouse, it appears that Lot 1 will have sufficient parking as long as there are no more than 24 warehouse employees. The site plan should be revised to include parking calculations for both lots.

No new tree plantings are proposed for the site, and the submitted site plan matches previously approved tree plans for the site; however Lot 2 was previously required to have frontage trees only. Because the proposed warehouse will result in an increase of more than 50% of building area, Lot 2 should be required to come into full compliance with tree planting and landscaping requirements.

Regarding Lot 2, the site plan indicates that the bulk of Lot 2 is crushed limestone, and it appears to serve as a storage area that has been expanded since 1984, with no apparent permits. It should be noted that while the site did obtain variances to allow gravel surfacing for the parking area in the front of the site, the variance approval expired in 2011, and the applicant did not express a desire to have a gravel storage area on site. All storage areas in B-3, Community Business Districts are required to be paved with asphalt or concrete.

Furthermore, the aerials show that the storage area for Lot 2 contains other buildings not indicated on the PUD site plan, that it appears to accommodate employee parking on gravel surfacing, and that a variety of truck trailers, trucks and other equipment are stored in the rear area: one of the Planning Commission conditions of the approval from 2005 is "*the submission and approval of a Planning Approval application if the heavy equipment rental operation is expanded.*" Thus the applicant should provide a more detailed description of the activities on the site, and should revise the site plan to accurately reflect all existing buildings, and improvement of the entirety of the site to meet paved surfacing requirements of the Zoning Ordinance.

It should be noted that the submitted site plan shows a 10' water and sewer easement as well as a 20' sanitary sewer easement on the rear portion of Lot 2 which was not indicated on any of the previous Subdivision, Planned Unit Development, or Variance site plans. Furthermore, there is an existing building located on top of these easements. Due to the location of the easements, the structure should be relocated, or the easements vacated.

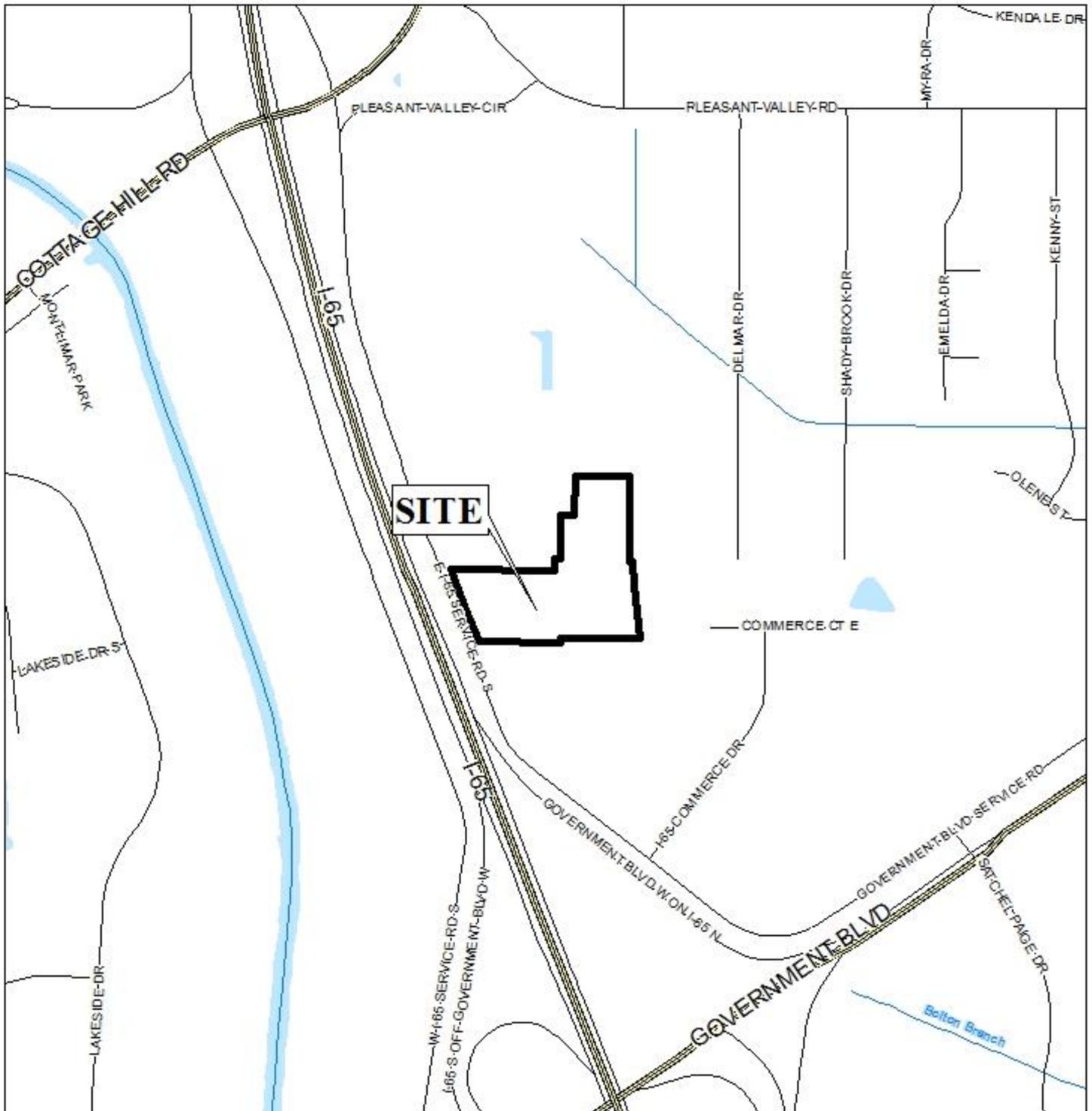
There is a note on the site plan indicating that preservation status will be granted to “the 42” Live Oak Tree located on the North side of Parcel A”. There is no such tree illustrated on the site plan, nor has Urban Forestry made such a stipulation for this site. If this note was indeed placed on the site plan by mistake, it should be removed.

### **RECOMMENDATION**

**Planned Unit Development:** Based upon the preceding, this application is recommended for Holdover until the April 16, 2015 meeting, with revisions due by March 27, 2015, so that the following revisions to the site plan can be made:

- 1) revision of the site plan to show all existing buildings on the site, and label their use and size;
- 2) revision of the site plan to show full compliance with the paving requirements of the Zoning Ordinance;
- 3) revision of the site plan and provision of a written description that describes the storage area for Lot 2 – the types of vehicles and equipment kept in the area;
- 4) submission of a Planning Approval application if heavy equipment is being stored on site for rental purposes;
- 5) illustration of full compliance with tree planting and landscaping requirements for both lots;
- 6) comply with Engineering comments (*ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN: 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2.A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 4. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals. 5. The proposed development must comply with all Engineering Department design requirements and Policy Letters.); and*
- 7) comply with Traffic Engineering comments (*Interstate 65 Service Road is an ALDOT maintained roadway. Driveway number, size, location and design to be approved by ALDOT and Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City’s Zoning Ordinance.*).

# LOCATOR MAP



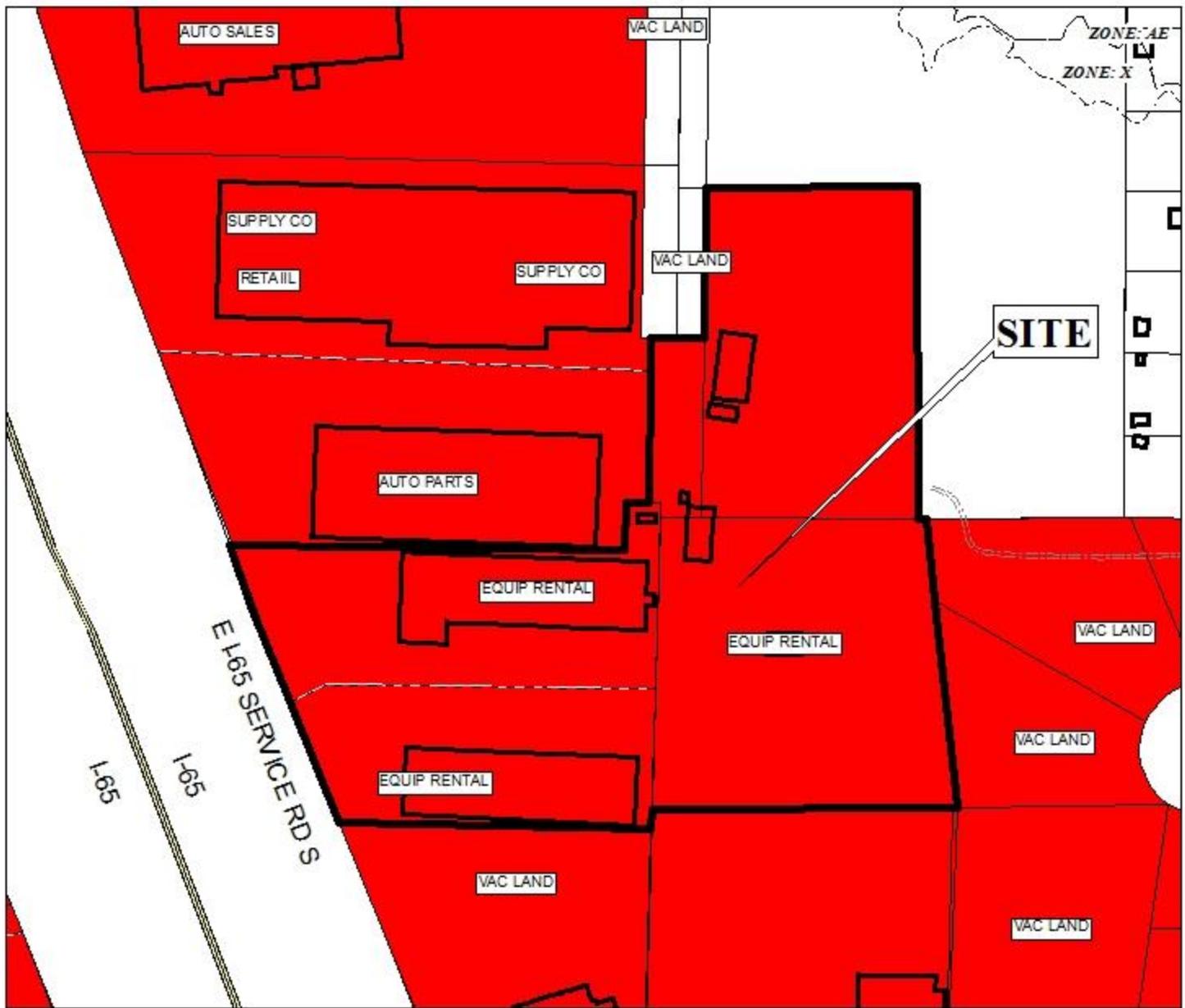
APPLICATION NUMBER 6 DATE March 19, 2015

APPLICANT Grant Harkness

REQUEST Planned Unit Development



# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by commercial units.

APPLICATION NUMBER 6 DATE March 19, 2015

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<span style="display: inline-block; width: 15px; height: 10px; background-color: cyan; border: 1px solid black;"></span> R-A	<span style="display: inline-block; width: 15px; height: 10px; background-color: lime; border: 1px solid black;"></span> R-3	<span style="display: inline-block; width: 15px; height: 10px; background-color: tan; border: 1px solid black;"></span> T-B	<span style="display: inline-block; width: 15px; height: 10px; background-color: orange; border: 1px solid black;"></span> B-2	<span style="display: inline-block; width: 15px; height: 10px; background-color: blue; border: 1px solid black;"></span> B-5	<span style="display: inline-block; width: 15px; height: 10px; background-color: yellow; border: 1px solid black;"></span> MUN	<span style="display: inline-block; width: 15px; height: 10px; background-color: orange; border: 1px solid black;"></span> SD-WH	<span style="display: inline-block; width: 15px; height: 10px; background-color: purple; border: 1px solid black;"></span> T5.1
<span style="display: inline-block; width: 15px; height: 10px; background-color: white; border: 1px solid black;"></span> R-1	<span style="display: inline-block; width: 15px; height: 10px; background-color: pink; border: 1px solid black;"></span> R-B	<span style="display: inline-block; width: 15px; height: 10px; background-color: cyan; border: 1px solid black;"></span> B-1	<span style="display: inline-block; width: 15px; height: 10px; background-color: red; border: 1px solid black;"></span> B-3	<span style="display: inline-block; width: 15px; height: 10px; background-color: lightblue; border: 1px solid black;"></span> I-1	<span style="display: inline-block; width: 15px; height: 10px; background-color: lightgreen; border: 1px solid black;"></span> OPEN	<span style="display: inline-block; width: 15px; height: 10px; background-color: lightpink; border: 1px solid black;"></span> T3	<span style="display: inline-block; width: 15px; height: 10px; background-color: darkpurple; border: 1px solid black;"></span> T5.2
<span style="display: inline-block; width: 15px; height: 10px; background-color: yellow; border: 1px solid black;"></span> R-2	<span style="display: inline-block; width: 15px; height: 10px; background-color: peachpuff; border: 1px solid black;"></span> H-B	<span style="display: inline-block; width: 15px; height: 10px; background-color: purple; border: 1px solid black;"></span> LB-2	<span style="display: inline-block; width: 15px; height: 10px; background-color: brown; border: 1px solid black;"></span> B-4	<span style="display: inline-block; width: 15px; height: 10px; background-color: lightgrey; border: 1px solid black;"></span> I-2	<span style="display: inline-block; width: 15px; height: 10px; background-color: peachpuff; border: 1px solid black;"></span> SD	<span style="display: inline-block; width: 15px; height: 10px; background-color: lightpurple; border: 1px solid black;"></span> T4	<span style="display: inline-block; width: 15px; height: 10px; background-color: darkblue; border: 1px solid black;"></span> T6



**PLANNING COMMISSION  
VICINITY MAP - EXISTING ZONING**



The site is surrounded by commercial units.

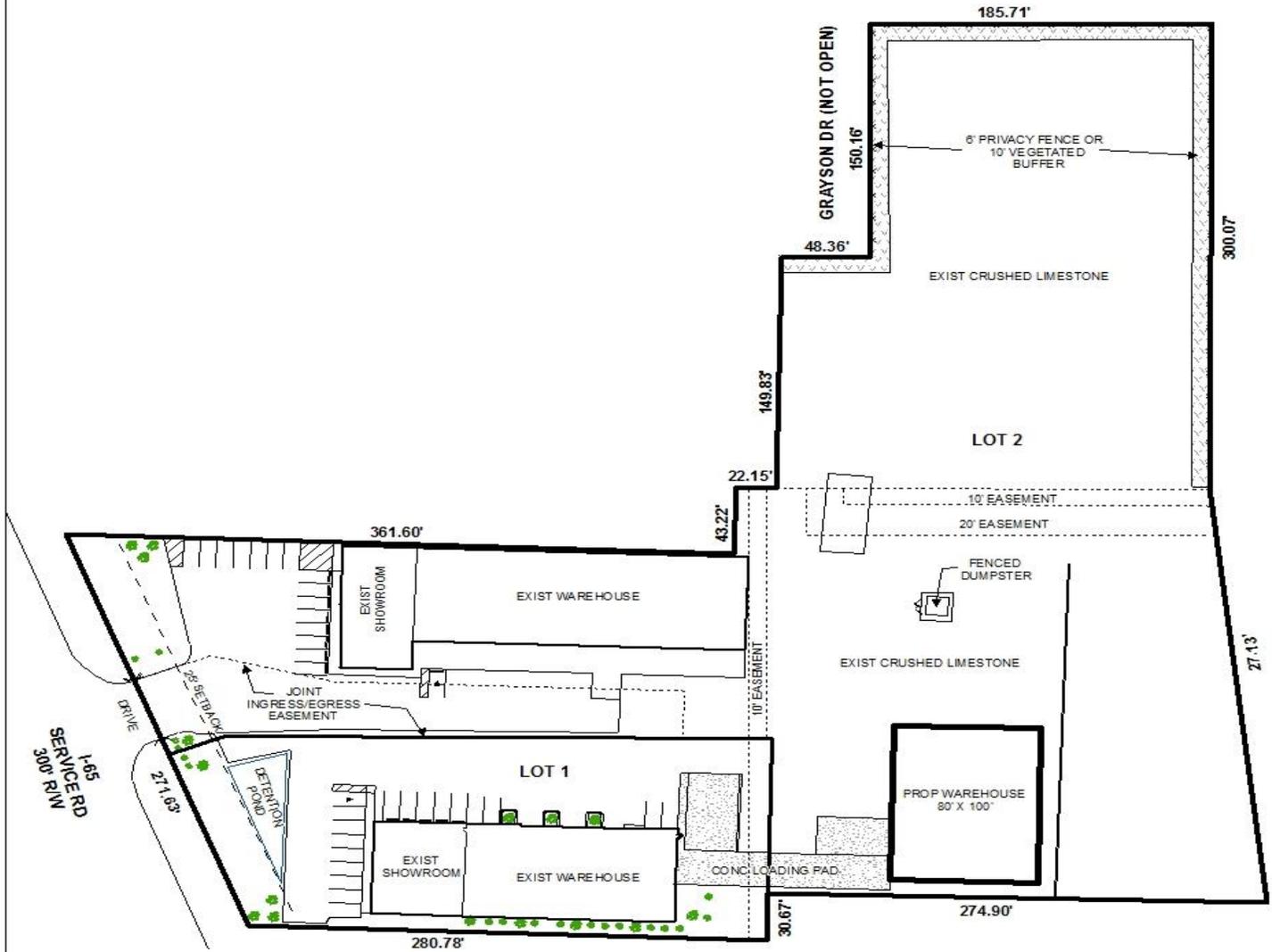
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# SITE PLAN



The site illustrates the existing buildings, easements, setback, trees, and the proposed warehouse.

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NTS