

L & H PLACE SUBDIVISION

Engineering Comments: The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- C. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 28 - #70) the Lot(s) will receive the following historical credit of impervious area towards stormwater detention requirement per Mobile City Code, Chapter 17, Storm Water Management and Flood Control), as follows: LOT 1 – NONE; LOT 2 –NONE; LOT 3 – NONE.
- D. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- E. Add/Correct the spelling of the street name (HOLT RD) in the written legal description.
- F. Provide and label the monument set or found at each subdivision corner.
- G. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- H. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved.
- I. Remove the County Engineer's signature block from the Plat. The County Engineer no longer signs plats within the municipal limits of the City of Mobile.
- J. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.

Traffic Engineering Comments: Each lot is limited to one curb cut, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWWS Comments: No comments.

The plat illustrates the proposed 3-lot, 1.0± acre subdivision, which is located on the North side of the Crawford Lane, 100'± West of Holt Road, in Council District 2. The applicant states the site is served by city water and sewer services.

The purpose of this application is to subdivide an existing metes-and-bounds parcel into three legal lots of record. The applicant's professional has submitted a narrative explaining the nature of the Subdivision request, stating *"Mr. Coley is currently stationed abroad, and after having multiple discussions with him regarding this property he purchased, he is looking to build 2 smaller homes on the front lots and eventually build on the rear lot so that he can oversee and manage these properties. The 2 smaller lots meet the city standard, and the rear lot would allow for a central divide of the 2 smaller lots. He will be returning soon and would like to have properties that he can directly oversee. We are adjacent to apartments and are not asking for any rezoning. We simply would like single family residence for each lot with the understanding that we will need a waiver of the flagged lot and length-to-width ratio. We believe this will provide a good economic impact on property that is currently vacant."*

The site fronts Crawford Lane, a minor street with a current substandard 40' right-of-way; therefore, dedication would be required to provide 25' from the centerline of Crawford Lane. This would result in the two proposed front lots losing 5' of depth and lessening the sizes to 6,900 square feet, below the minimum required 7,200 square feet. However, the site does provide sufficient area to reduce the size of the large rear lot and provide compliant area for the two front lots after dedication. As a means of access management, each lot should be limited to one curb cut to Crawford Lane, with the size, design and location to be approved by Traffic Engineering and conform to AASHTO standards.

As proposed, the Subdivision would create a flag lot which is generally not allowed by Section V.D.1. of the Subdivision Regulations, except in those locations where varied or irregularly-shaped lot designs are common and the informality of design is consistent with other lots in the vicinity; or, where unusual circumstances such as an odd shaped lot exists; or, separate disparate uses exist on a single lot; or, where there are natural or pre-existing man-made barriers which may cause an undue hardship on the land owner; or in the case of a family division. None of those criteria have been presented in this instance to justify the three lots as proposed. The Regulations also require that requests for panhandle or flag lots shall be accompanied by evidence showing that each panhandle or flag lot is necessary to allow the site owner reasonable use of the site or to alleviate a situation that would otherwise cause extreme hardship. Again, such evidence has not been presented. The narrative indicates that the Subdivision is primarily intended to create the two smaller lots for rental housing purposes. It should be noted that the adjacent apartment units noted were approved via a Variance in 1967.

There are no other flag lots within the immediate vicinity to justify the Subdivision as proposed. However, the site contains enough area to allow a two-lot Subdivision with lots harmonious to the surrounding neighborhood. Therefore, this application should be heldover to the meeting of April 2nd to allow the plat to be revised to a two-lot Subdivision.

Based upon the preceding, this application is recommended for holdover to the meeting of April 2nd to allow the plat to be revised to a two-lot Subdivision which would be more in harmony with the surrounding neighborhood. Revisions are due by March 16.

Revised for the April 2nd meeting:

This application was heldover from the March 5th meeting to allow the plat to be revised to a two-lot Subdivision which would be more in harmony with the surrounding neighborhood. A revised plat was submitted but still proposing three lots. It was revised to indicate the street frontage dedication along Crawford Lane and associated adjustment of the depth of Lots 1 and 3 to compensate for the area loss due to dedication. The proposed dwellings and one internal driveway were also added to the plat.

It should be noted that the revised plat does not address the compatibility and flag lot issues, and is virtually unchanged from the original. As justification for retaining the three-lot configuration, the applicant submitted evidence of two other flag lot and two irregularly-shaped properties in the area. However, staff research indicates that, as per the GIS data base and County Tax Records, all four of the subject properties cited are metes-and-bounds and none were created via any Subdivision. Therefore, they would not be considered as justification for the approval of the subject application and staff recommends denial for the following reasons:

- 1) the flag lot is not in harmony with the surrounding lots in the neighborhood;*
- 2) none of the criteria to justify the Subdivision as per Section V.D.1. of the Subdivision Regulations has been presented; and*
- 3) examples of properties cited as evidence of flag and irregularly-shaped lots in the area are metes-and-bounds and none were created via Subdivision approvals.*

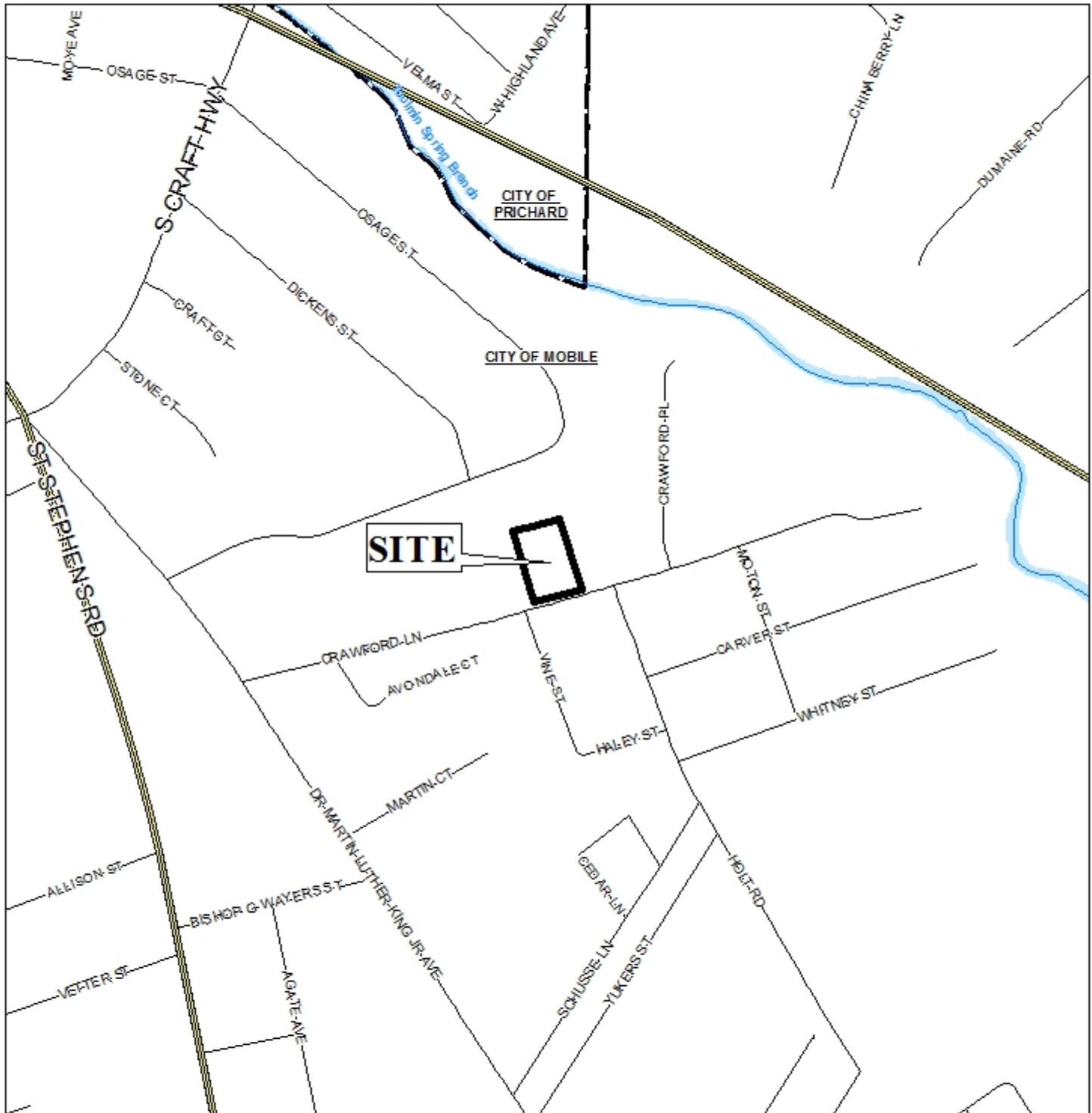
Revised for the May 7th meeting:

This application was heldover from the April 2nd meeting to allow the staff to develop conditions for possible approval. It was also suggested to the applicant to consider submission of an alternative configuration.

Staff has prepared conditions for possible approval of the Subdivision; however, staff is still of the opinion that the Subdivision should be denied for the following reasons:

- 1) the flag lot is not in harmony with the surrounding lots in the neighborhood;*
- 2) none of the criteria to justify the Subdivision as per Section V.D.1. of the Subdivision Regulations has been presented;*
- 3) examples of properties cited as evidence of flag and irregularly-shaped lots in the area are metes-and-bounds and none were created via Subdivision approvals; and*
- 4) approval would set the precedent for future flag lots in the area.*

LOCATOR MAP



APPLICATION NUMBER 2 DATE May 7, 2015

APPLICANT L & H Place Subdivision

REQUEST Subdivision



NTS

L & H PLACE SUBDIVISION



APPLICATION NUMBER 2 DATE May 7, 2015

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



L & H PLACE SUBDIVISION

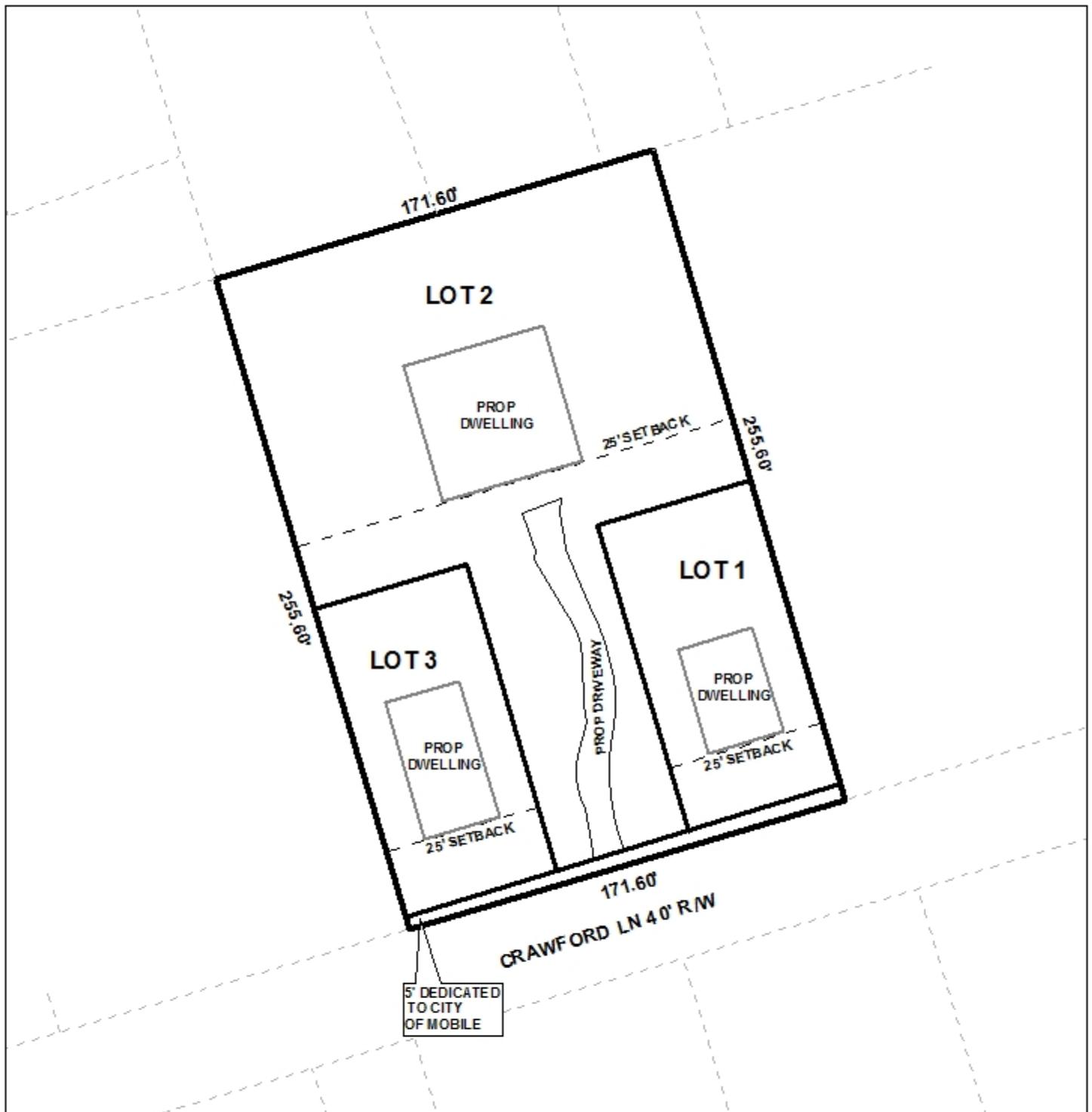


APPLICATION NUMBER 2 DATE May 7, 2015



NTS

DETAIL SITE PLAN



APPLICATION NUMBER 2 DATE May 7, 2015

APPLICANT L & H Place Subdivision

REQUEST Subdivision

