

HAMM FAMILY DIVISION SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. New public roads shall be constructed and paved to standards for County Maintenance, and accepted by Mobile County, while new private roads shall be constructed and paved to minimum County or Subdivision Regulation standards, whichever are greater.

Fire Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWSS Comments: MAWSS has no water or sewer services available.

The plat illustrates the proposed 2-lot, 6.8± acre subdivision located at the North terminus of Anthony Drive West, within the Planning Jurisdiction. The applicant states that the subdivision is served by public water and septic services.

The purpose of this application is to create two legal lots of record from four existing metes-and-bounds parcels.

The site fronts the North terminus of Anthony Drive West, a minor street with ribbon curbs and gutters and with a compliant 60' right-of-way; therefore, no dedication would be required. As the proposed access for Lot 2 is by an existing 30' easement for ingress and egress across Lot 1, a note should be required on the Final Plat stating that Lot 1 is limited to the existing curb cut to Anthony Drive West, with the size, location and design to be approved by County Engineering and conform to AASHTO standards.

As shown on the preliminary plat, the 25' building setback line for Lot 1 should be blocked at the North terminus of Anthony Drive West. The plat should be revised to stop the 25' building setback line along the South side of Lot 2 where it would meet a 25' setback from the 30' easement for ingress and egress. The plat should also be revised to illustrate such setback line from the easement.

The proposed lots meet the minimum size requirements of the Subdivision Regulations and the lot size labels should be retained on the Final Plat or a table should be furnished on the Final Plat providing the same information.

While the site is in Mobile County, it will have to comply with the City of Mobile storm water and flood control ordinances. A note should be placed on the Final Plat stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and

flood control ordinances prior to the issuance of any permits. Certification is to be submitted to the Planning Section of Urban Development and County Engineering.

The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

A note should be placed on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations.

It should be noted that Planning GIS identified an error in the legal description along the East side of proposed Lot 2 indicating a length of 102.00' as opposed to the 184.53' as indicated graphically. This should be corrected on the Final Plat, if approved.

The proposed subdivision consists of four metes-and-bounds parcels, three of which are included in their entirety. However, the fourth parcel (R023407364000011.), which extends from the West line of the subdivision to the West side of Lundy Road Extension, is not included in its entirety. The proposed subdivision is a family division and the applicant's parents own that particular parcel but they do not wish to, nor will they, participate in the subdivision. Nonetheless, the remainder of that parcel should be included as a third lot in this subdivision. Inasmuch as all properties included are within the same family, Section 1.E. of the Subdivision Regulations provides that every plat of land that is a subdivision shall be presented for approval. Since the portion of this parcel included in the subdivision was not previously separated from the parent parcel via a deed, and the current owner will not participate in the subdivision, the exclusion of the remainder of the parcel from the application is not in compliance with the Subdivision Regulations. Therefore, this application should be recommended for denial.

The plat does not meet the minimum requirements of the Subdivision Regulations and is recommended for denial in that it is contradictory to Section 1.E. of the Subdivision Regulations for the following reasons:

- 1) only a portion of Parcel R023407364000011. is included; and
- 2) the subdivision should be a three-lot subdivision to be legal.

Revised for the August 21st meeting:

This application was heldover from the July 17th meeting at the applicant's request. The application has since been revised to a three-lot subdivision to include the remaining portion of Parcel R023407364000011., which was not included in the original application.

The proposed third lot meets the minimum requirements of the Subdivision Regulations. The lot consists of an existing parcel created prior to coming within the Planning Commission Jurisdiction and is a non-standard configuration. It is a flag lot, generally prohibited under Section V.D.1. of the Regulations, and has only a 15'-wide "pole" as opposed to the required 25' width of that section. However, as this is a family subdivision, allowances are made for such flag lots under that section, and various other flag-lot subdivisions have been approved

within the area by the Commission. As the depth of the lot would be more than 3-1/2 times its width at the building setback line, a waiver of Section V.D.3. of the Subdivision Regulations would be required and would also seem in order. A note should be required on the Final Plat stating that no further resubdivision of Lot 3 will be allowed until additional public street frontage is provided.

Lot 3 would have frontage on Lundy Road Extension which is a substandard 20' public right-of-way without curbs and gutters. Therefore, as indicated on the plat, dedication to provide 30' from the centerline of Lundy Road Extension would be required. As a means of access management, a note should be required on the Final Plat stating that Lot 3 is limited to the existing curb cut to Lundy Road Extension, with the size, location and design to be approved by County Engineering and conform to AASHTO standards. And as on the preliminary plat the 25' minimum building setback line for Lot 3 should be illustrated on the Final Plat as measured where the lot is at least 60' wide.

Although Lot 2 is essentially land-locked, access to that area was granted via an easement for ingress and egress from Lundy Road Extension recorded in 2001 and an additional ingress/egress easement from Anthony Drive West is proposed. Other family subdivisions have been approved by the Commission in instances where ingress/egress easements were recorded prior to the subject sites coming within the Planning Jurisdiction. However, a note should be required on the Final Plat stating that no further resubdivision of Lots 1 and 2 is allowed until additional public street frontage is provided.

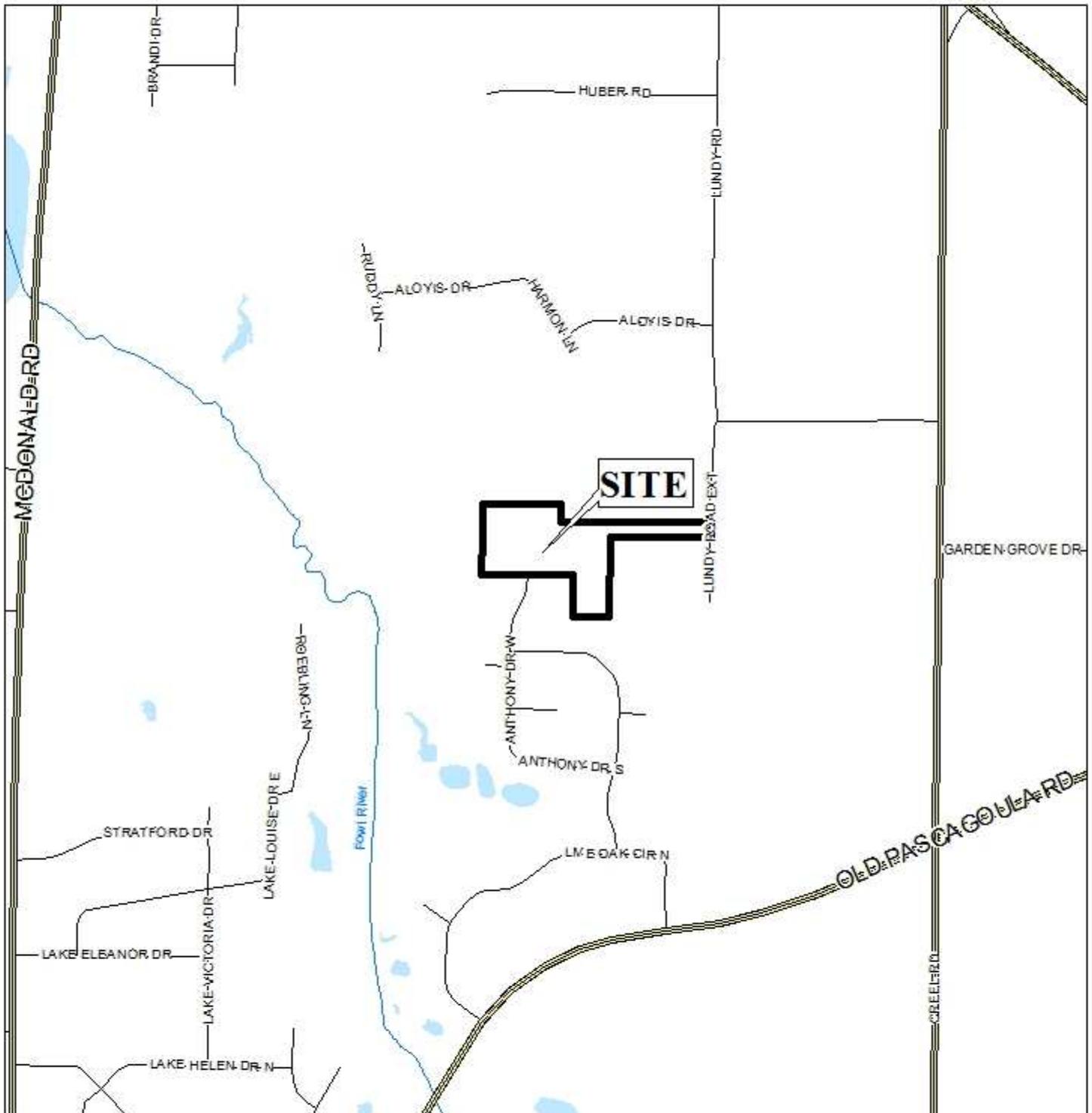
It should be noted that the dimensional error on the original plat submission has been corrected on the revised plat.

RECOMMENDATION: *With a waiver of Section V.D.3., the plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions:*

- 1) placement of a note on the Final Plat stating that Lot 1 is limited to the existing curb cut to Anthony Drive West, with the size, location and design to be approved by County Engineering and conform to AASHTO standards;*
- 2) placement of a note on the Final Plat stating that Lot 3 is limited to the existing curb cut to Lundy Road Extension, with the size, location and design to be approved by County Engineering and conform to AASHTO standards;*
- 3) dedication to provide 30' from the centerline of Lundy Road Extension along Lot 3;*
- 4) retention of the 25' building setback line for Lot 1 as being blocked at the North terminus of Anthony Drive West;*
- 5) revision of the plat to stop the 25' building setback line along the South side of Lot 2 where it would meet a 25' setback from the 30' easement for ingress and egress;*
- 6) revision of the plat to illustrate a 25' setback line from the ingress and egress easement;*
- 7) retention of the 25' building setback line for Lot 3 as measured where the lot is at least 60' wide;*
- 8) retention of the labeling of the lots with their sizes in square feet and acres, or the furnishing of a table on the Final Plat providing the same information;*
- 9) placement of a note on the Final Plat stating that no further resubdivision of Lots 1, 2 or 3 will be allowed until additional public street frontage is provided;*

- 10) *placement of a note on the Final Plat stating that development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. Certification is to be submitted to the Planning Section of Urban Development and County Engineering;*
- 11) *placement of a note on the Final Plat stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species;*
- 12) *placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations; and*
- 13) *compliance with the Fire Department comments: (All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile).*

LOCATOR MAP



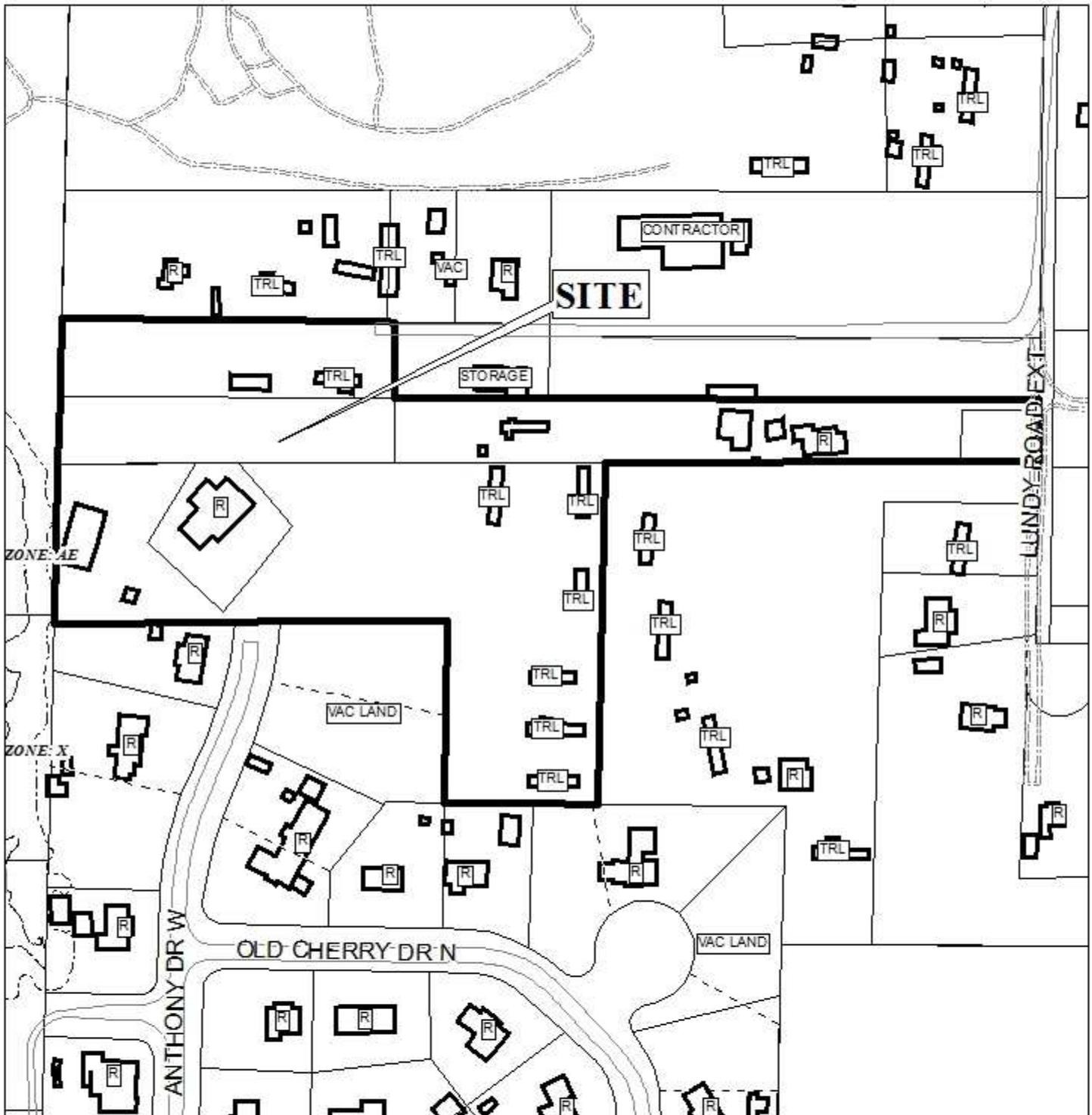
APPLICATION NUMBER 2 DATE August 21, 2014

APPLICANT Hamm Family Division Subdivision

REQUEST Subdivision



HAMM FAMILY DIVISION SUBDIVISION



APPLICATION NUMBER 2 DATE August 21, 2014

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



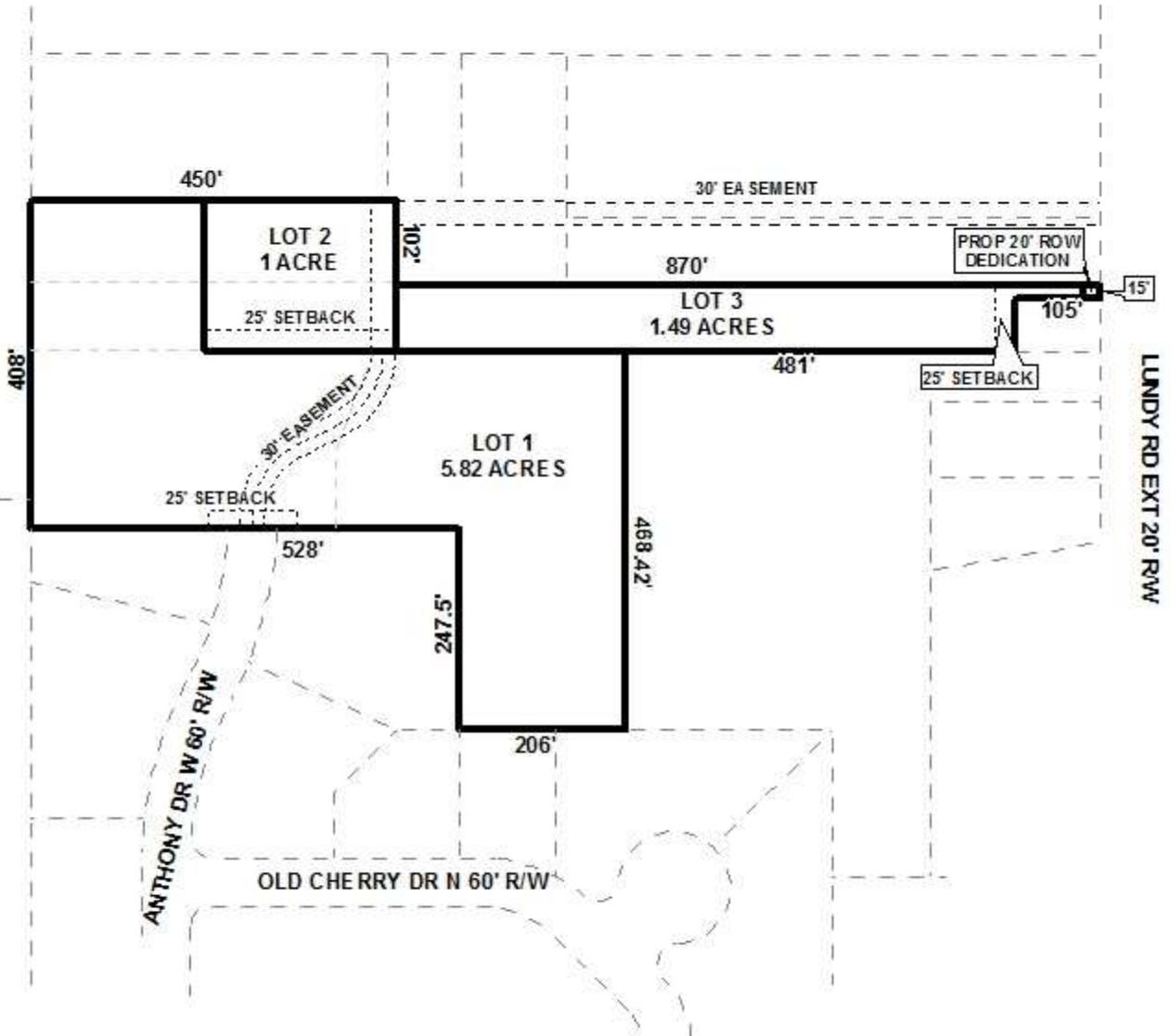
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APPLICATION NUMBER 2 DATE August 21, 2014



DETAIL SITE PLAN



APPLICATION NUMBER 2 DATE August 21, 2014

APPLICANT Hamm Family Division Subdivision

REQUEST Subdivision

