

**BOARD OF ZONING ADJUSTMENT
STAFF REPORT**

Date: July 11, 2011

<u>CASE NUMBER</u>	5686
<u>APPLICANT NAME</u>	Wrico Signs, Inc.
<u>LOCATION</u>	2213 Airport Boulevard (Southwest corner of Airport Boulevard and Westwood Street)
<u>VARIANCE REQUEST</u>	SIGN: Sign Variance to allow a total of 4 signs (1 freestanding sign and 3 wall signs), including signage that projects above the roof line in a single business site in a B-2, Neighborhood Business District
<u>ZONING ORDINANCE REQUIREMENT</u>	SIGN: Zoning Ordinance allows a maximum of 3 signs (1 freestanding sign and 2 wall signs), with none projecting above the roof line for a single business site in a B-2, Neighborhood Business District.
<u>ZONING</u>	B-2, Neighborhood Business District
<u>AREA OF PROPERTY</u>	28,538 square feet/ 0.65± Acres
<u>ENGINEERING COMMENTS</u>	No comments
<u>TRAFFIC ENGINEERING COMMENTS</u>	The sign closest to the street should be behind ROW and no more than 3' high.
<u>CITY COUNCIL DISTRICT</u>	District 5
<u>ANALYSIS</u>	The applicant is requesting a Sign Variance to allow a total of 4 signs (1 freestanding and 3 wall signs), including signage that projects above the roof line in a B-2, Neighborhood Business District; the Zoning Ordinance allows a maximum of 3 signs, with none projecting above the roof line in a B-2, Neighborhood Business District.

The Zoning Ordinance states that no variance shall be granted where economics are the basis for the application; and, unless the Board is presented with sufficient evidence to find that the variance will not be contrary to the public interest, and that special conditions exist such that a

literal enforcement of the Ordinance will result in an unnecessary hardship. The Ordinance also states that a variance should not be approved unless the spirit and intent of the Ordinance is observed and substantial justice done to the applicant and the surrounding neighborhood.

Variations are not intended to be granted frequently. The applicant must clearly show the Board that the request is due to very unusual characteristics of the property and that it satisfies the variance standards. What constitutes unnecessary hardship and substantial justice is a matter to be determined from the facts and circumstances of each application.

The applicant states that they wish to have one freestanding sign, as well as three wall signs: one on the front of the building, one on the patio canopy, and another on the drive-thru canopy. The applicant states that the third wall sign on the drive-thru canopy is needed in order to identify the restaurant to customers traveling from East to West on Airport Boulevard.

The applicant also states that it is necessary to install the signs above the canopies roof lines in order to maximize visibility to customers on Airport Boulevard and Westwood Street. However, the proposed freestanding sign should be visible to customers coming from both streets. The applicant goes on to state that installing the signs centered on the canopy fascias will significantly strengthen the structural integrity of the signs by substantially increasing the attachment surface area. It should be noted that by installing the sign in such a manner that a portion of it rises above the roof line could actually reduce the structural integrity of the wall signs.

It should be noted that the applicant would be allowed three wall signs if they remove the freestanding sign with no variance.

Research found that the Board of Zoning Adjustment has not granted another variance similar to this that would allow three wall signs and one freestanding sign. It should also be noted in particular, that no other Checkers in the City of Mobile currently has three wall signs and one freestanding.

The applicant has failed to illustrate that a literal enforcement of the Zoning Ordinance would result in an unnecessary hardship. It is simply the applicant's desire to have signage in excess of the Ordinance requirements.

RECOMMENDATION
recommended for denial.

Based upon the preceding, this application is

LOCATOR



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REQUEST Sign Variance



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



This site is surrounded by residential and business land use.

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LEGEND															
	R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



NTS

**BOARD OF ADJUSTMENT
VICINITY MAP - EXISTING ZONING**

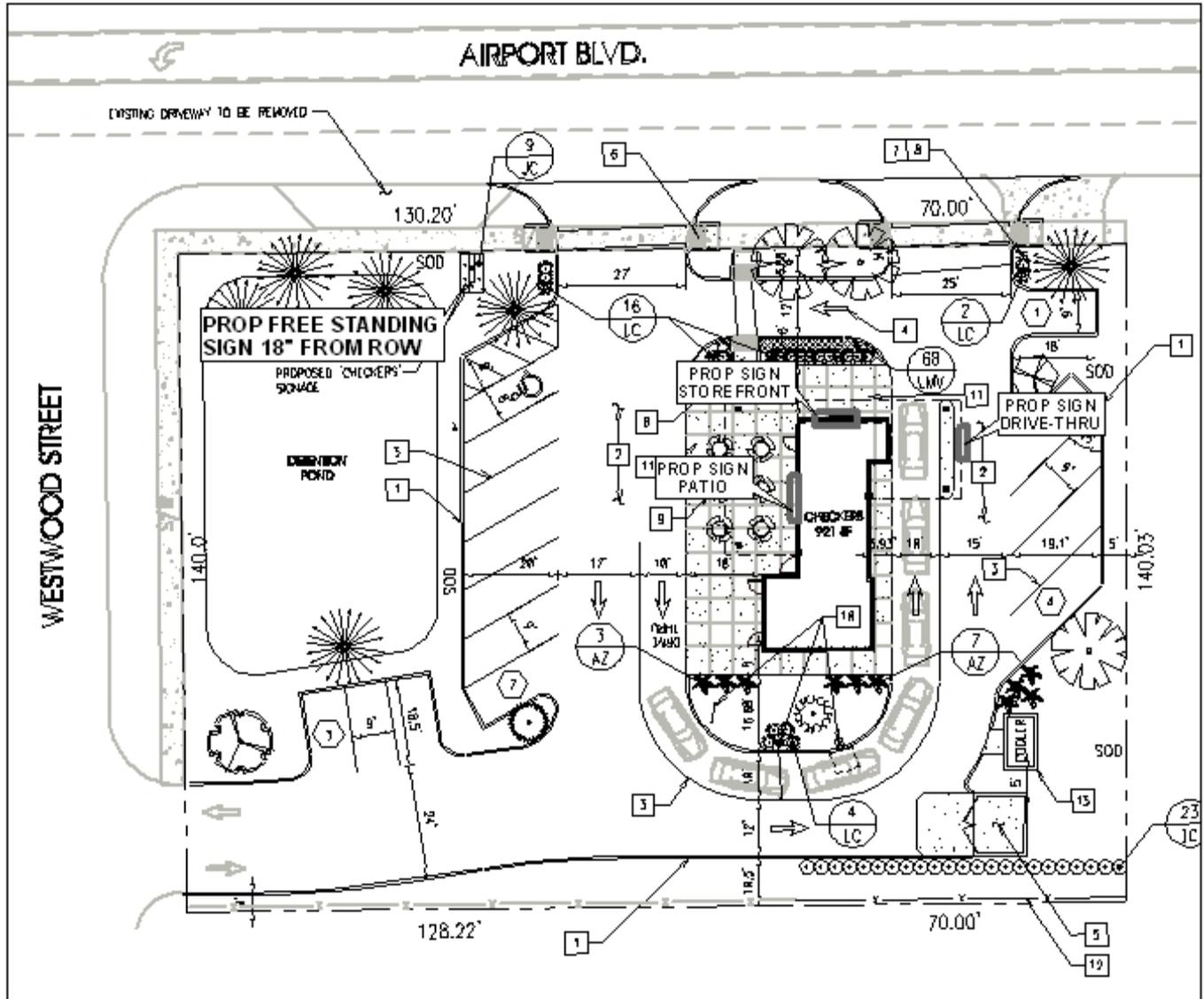


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SITE PLAN

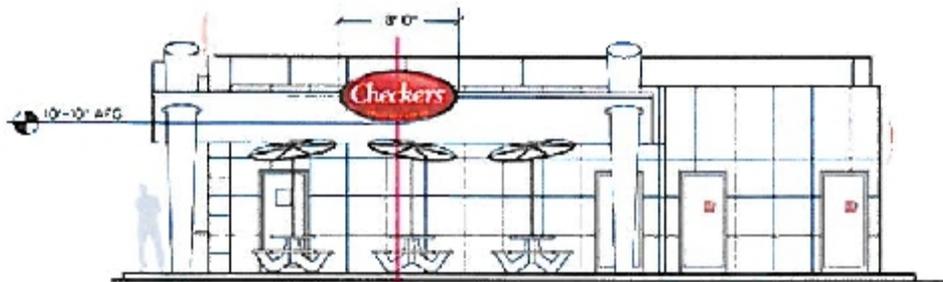


The site plan illustrates the proposed signage.

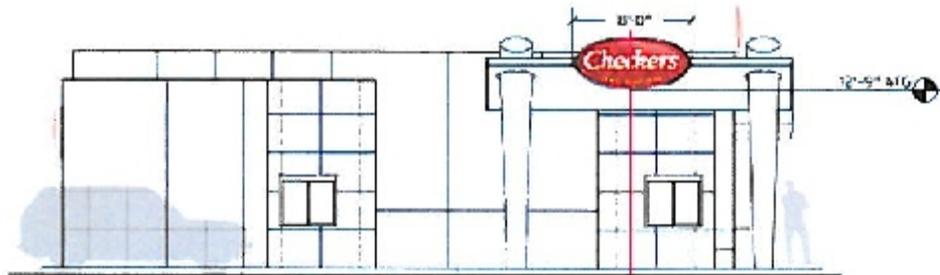
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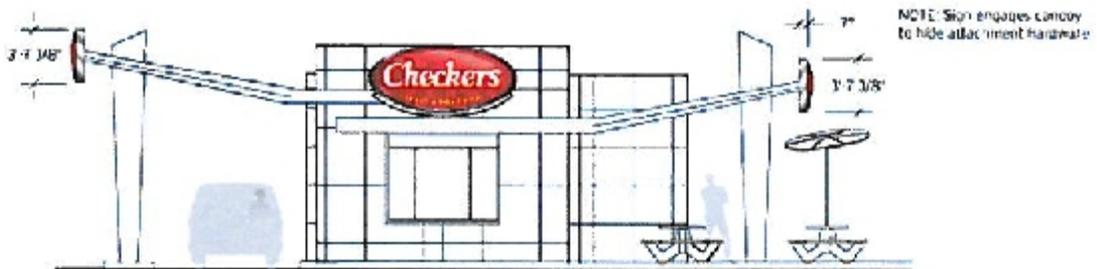
DETAIL SITE PLAN



ELEVATION PATIO VIEW



ELEVATION DRIVE-THRU VIEW



ELEVATION FRONT VIEW

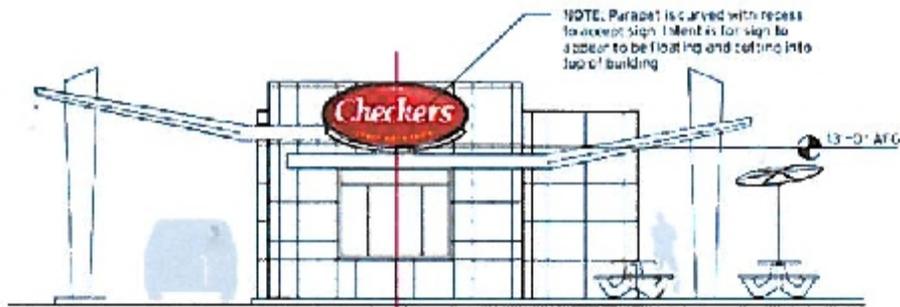
NOTE: Sign engages canopy to hide attachment hardware

This drawing is not a contract. It is subject to the terms and conditions of the contract. It is not to be used for any other purpose without the written consent of the architect.

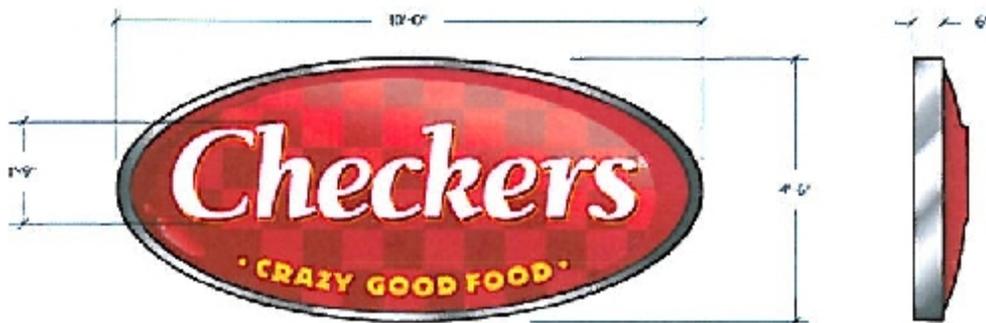
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DETAIL SITE PLAN



ELEVATION FRONT VIEW



STOREFRONT FRONT VIEW

NOTE: Depths of cabinet and sign faces are estimated. Depth should be sufficient for even illumination with no hot spots.

Proportions should always be maintained.

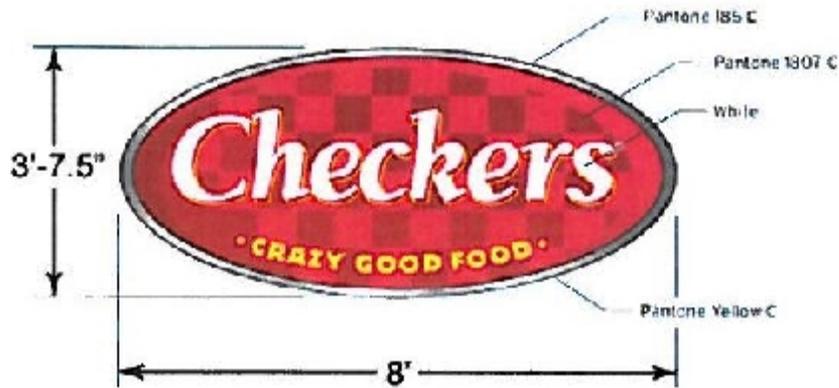
Storefront, Side View
Scale 1/2" = 1'-0"

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DETAIL SITE PLAN

Logo on Signage



Logo on Signage



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